



# City of Apopka Planning Commission Meeting Agenda

August 08, 2017

5:30 PM @ CITY COUNCIL CHAMBERS

## I. CALL TO ORDER

If you wish to appear before the Planning Commission, please submit a “Notice of Intent to Speak” card to the Recording Secretary.

## II. OPENING AND INVOCATION

## III. APPROVAL OF MINUTES:

- 1 Approve minutes of the Planning Commission regular meeting held July 11, 2017.
- 2 Approve minutes of the Planning Commission special meeting held July 25, 2017.

## IV. PUBLIC HEARING:

1. COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT – Owned by George Thum, Jr. & Phillip and Peggy Dionne, from “County” Rural (0-1 du/10 ac) and “City” Agriculture (0-1 du/5 ac) to “City” Institutional/Public Use, for property located west of Jason Dwelley Parkway, south of West Kelly Park Road. (Parcel ID #: 18-20-28-0000-00-053; 18-20-28-0000-00-054)
2. CHANGE OF ZONING/PUD MASTER PLAN - OAK POINTE SOUTH (AKA Thompson Hills Estates), from Planned Unit Development to Planned Unit Development (New Master Site Plan); for property owned by Thompson Hills Estates LLC (Oak Pointe PUD) and located east of Ocoee Apopka Road, north of McCormick Road. (Parcel ID Nos.: 29-21-28-0000-00-011; 29-21-28-0000-00-016; 29-21-28-0000-00-033; and Portions of: 29-21-28-0000-00-038; 32-21-28-0000-00-004; 32-21-28-0000-00-030)
3. 2017-2 ADMINISTRATIVE REZONING – Case No. 2017-2-1 - Owned by Richard Chandler, from “County” A-1 (ZIP) to “City” R-1AAA (Residential), for property located west of North Rock Springs Road, south of West Kelly Park Road. (Parcel ID #: 18-20-28-0000-00-030; 18-20-28-0000-00-063)
4. 2017-2 ADMINISTRATIVE REZONING – Case No. 2017-2-2 - Owned by Bobby and Jessica Sanders, from “County” A-1 (ZIP) to “City” R-1AAA (Residential), for property located west of North Rock Springs Road, south of West Kelly Park Road. (Parcel ID #: 18-20-28-0000-00-129)
5. 2017-2 ADMINISTRATIVE REZONING – Case No. 2017-2-3 - Owned by Jolly Products and Services, from “County” A-1 (ZIP) to “City” AG (Agriculture), for property located east of Round Lake Road, north of West Kelly Park Road. (Parcel ID #: 11-20-27-0000-00-052)

- 6. 2017-2 ADMINISTRATIVE REZONING – Case No. 2017-2-4 - Owned by Edgel LLC, from “County” A-1 (ZIP) to “City” AG (Agriculture), for property located east of North Rock Springs Road, south of East Ponkan Road. (Parcel ID #: 27-20-28-0000-00-061)
- 7. 2017-2 ADMINISTRATIVE REZONING – Case No. 2017-2-5 - Owned by Deborah Halm, from “County” A-1 (ZIP) to “City” RCE-1 (Residential Country Estates), for property located west of Mt. Plymouth Road, north of West Kelly Park Road. (Parcel ID #: 09-20-28-7608-00-122)
- 8. ORDINANCE NO. 2582 – Amending the City of Apopka, Code of Ordinances, Part III, Land Development Code, Article III, Section 3.05, to establish a prohibition of medical marijuana treatment center dispensing facilities within the boundaries of the City as authorized by Section 381.986, Florida Statutes.

**V. SITE PLANS:**

- 1. PLAT – FIRST STREET RETAIL CENTER PLAT (AKA TRACTOR SUPPLY SITE) –Owned by Michael L. Hart, Margie A. Hart and Apopka Regional Properties, LLP, property located at 180 East 1st Street. (Parcel ID #s: 09-21-28-0196-10-040, 09-21-28-0196-10-064 and 09-21-28-0196-10-122)
- 2. FINAL DEVELOPMENT PLAN – SHOOT STRAIGHT WAREHOUSE ADDITION –Owned by Shoot Straight Holding Co., Inc., property located at 1351 Tropicana Circle. (Parcel ID #s: 13-21-28-5300-02-040; 13-21-28-5300-02-060; 13-21-28-5300-02-018; 13-21-28-5300-02-080)

**VI. OLD BUSINESS:**

**VII. NEW BUSINESS:**

**VIII. ADJOURNMENT:**

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All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

**Backup material for agenda item:**

- 1 Approve minutes of the Planning Commission regular meeting held July 11, 2017

**MINUTES OF THE PLANNING COMMISSION MEETING HELD ON JULY 11, 2017, AT 5:30 P.M. IN THE CITY COUNCIL CHAMBERS, APOPKA, FLORIDA.**

**MEMBERS PRESENT:** James Greene, Tony Foster, Linda Laurendeau, Jose Molina, and Roger Simpson

**ABSENT:** Melvin Birdsong, John Spinkle, Orange County Public Schools (Non-voting)

**OTHERS PRESENT:** David Moon, AICP - Planning Manager, Patrick Brackens – City Attorney, Kyle Wilkes, AICP – Planner II, Robert Hafer, George Kramer, Bill Gates, Joe Gatez, Suzanne Kidd, Theresa Sargent, and Jeanne Green – Recording Secretary.

**OPENING AND INVOCATION:** Chairman Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

**APPROVAL OF MINUTES:**

Chairperson Greene asked if there were any corrections or additions to the regular meeting minutes of June 12, 2017, at 5:30 p.m.

**Motion:** Jose Molina made a motion to approve the Planning Commission minutes from the regular meeting held on June 12, 2017, at 5:30 p.m. and seconded by Roger Simpson. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, Jose Molina, and Roger Simpson (5-0).

**SWEARING-IN** – Mr. Brackens swore-in staff, the petitioners, and affected parties for the quasi-judicial items to be discussed.

**QUASI-JUDICIAL - CHANGE OF ZONING – JOSEPH & SWANA GATES AND OAK ROYAL PROPERTIES, LLC** - Chairperson Greene stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and to recommend approval of the change in zoning from PO/I (Professional Office/Institution) and AG (Agriculture) to Mixed-EC for the property owned by Joseph & Swana Gates and Oak Royal Properties, LLC and located east of Ocoee Apopka Road, north of Keene Road.

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No one spoke.

Staff Presentation: Kyle Wilkes, AICP, Planner II, stated this is a request to find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and to recommend approval of the change in zoning from PO/I (Professional Office/Institution) and AG (Agriculture) to Mixed-EC for the property owned by Joseph & Swana Gates and Oak Royal Properties LLC. The applicant is S&ME, also known as Littlejohn Engineering. The property is located east of Ocoee Apopka Road, north of Keene Road. The existing uses are container nurseries and a single-family residential home. The future land use is Mixed Use. The proposed development is a residential and non-residential mixed-use development. The existing maximum allowable development is 518 units. The proposed maximum allowable development is 975,744 sq. ft. of non-residential development and 336 multi-family units. The tract size is 22.4 +/- acres.

**MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JULY 11, 2017, AT 5:30 P.M.**

The subject parcels were annexed into the City of Apopka on December 5, 2001 through Ordinance 1421. The proposed change of zoning is being requested by the owner/applicant. Presently, the subject property has not yet been assigned a “City” zoning category. Applicant is requesting the City to assign a zoning classification of Mixed – EC (Mixed Use – Employment Center) to the property.

A request to assign a change of zoning to Mixed-EC (Mixed Use Employment Center) is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The property owner is requesting the Mixed-EC zoning classification to accommodate the use of the property residential and non-residential development permitted within the Mixed-EC zoning district. These uses are consistent with the proposed Mixed Use Future Land Use Designation, proposed zoning district and compatible with the general character of surrounding zoning and uses. The change of zoning application covers approximately 22.4 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

The proposed use of the property is consistent with the Mixed Use ((0-15 du/ac and/or max 1.0 FAR)) Future Land Use designation and the City’s proposed Mixed-EC (Mixed Use – Employment Center) Zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

An executed capacity enhancement agreement with Orange County Public Schools will be required prior to adoption of the associated large scale future land use amendment.

The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on April 10, 2017

The Development Review Committee finds the proposed amendment consistent with the Comprehensive Plan and the Land Development Code recommends adoption of the change in Zoning from PO/I (Professional Office/Institutional) and AG (Agriculture) to Mixed Use – Employment Center, subject to the adoption of the associated large scale future land use amendment, for the properties owned by Joseph & Swana Gates and Oak Royal Properties, LLC.

Staff Recommended that the Planning Commission find the proposed rezoning consistent with the Comprehensive Plan and Land Development Code and to recommend a change of zoning from PO/I (Professional Office/Institutional) and AG (Agriculture) to Mixed Use – Employment Center, subject to the adoption of the associated large scale future land use amendment.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Land Use & Traffic Compatibility: The subject property fronts and is accessed by a county minor arterial (Ocoee Apopka Road) and a collector roadway (Keene Road). The proposed Mixed-EC (Mixed Use – Employment Center) zoning district is consistent and compatible with the adjacent zoning classifications and uses within the surrounding area. Property to the north (the existing Emerson Park single-family and townhome development) has the same Mixed-EC zoning classification. To the south, “City” zoned property has a PO/I zoning classification, with properties within unincorporated Orange County to the east are predominant single-family and rural uses.

In addition, the proposed land use designation is consistent with the conceptual land use plan, development scenario and recommendations of the Ocoee Apopka Road Small Area Study, which was completed in

2014. The Ocoee Apopka Rd SAS Conceptual Plan listed as Exhibit ‘A’ below shows the subject properties listed within the “New Market” character area, which is described in the final report as:

“The New Market Zone represents the area in the vicinity of Emerson Park and the hospital. It is anticipated that this area will contain the highest degree of pedestrian connectivity.” In addition, the report indicates that one scenario for the New Market Area includes the placement of the core (Village Center) of the New Market Character area includes the subject property (as shown in Exhibit ‘B’ below). The finds of the report suggest this scenario may be the most suitable for the Village Center:

“Scenario 1 shows the core area (Village Center) concentrated at the northeast corner of Ocoee-Apopka Road and Keene Road. This site was chosen as an ideal location for the Village Center because it is easily accessible from the existing and proposed residential neighborhoods to the east.

**Comprehensive Plan Compliance:** The proposed Mixed-EC zoning is consistent with the City’s Mixed Use (max 0.60 FAR) Future Land Use designation and with the character of the surrounding area and future proposed development. The Mixed-EC zoning classification is one of the acceptable zoning categories allowed within the Mixed Use Future Land Use designation. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

**Zoning District Requirements:** All uses and site development requirements will be subject to Sec. 02.02.20 or Sec. 02.02.18 of the Apopka Land Development Code.

**Petitioner Presentation:** George M. Kramer, AICP, LEED AP, S&ME, 1615 Edgewater Drive, Ste. 200 Orlando, FL 32804, thanked staff and concurred with their findings. He stated he was available for any questions.

**Affected Party Presentation:** None.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

**Motion:** **Linda Laurendeau made a motion to approve the request for a change of zoning from PO/I (Professional Office/Institution) and AG (Agriculture) to Mixed EC, subject to adoption of the future land use amendment and the findings and facts presented in the staff report, for the property owned by Joseph & Swana Gates and Oak Royal Properties, LLC and located east of Ocoee Apopka Road, north of Keene Road. Motion seconded by Jose Molina. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, Jose Molina, and Roger Simpson (5-0). (Vote taken by poll.)**

**LEGISLATIVE – EVALUATION & APPRAISAL REPORT 2017 - COMPREHENSIVE PLAN –** Chairperson Greene stated this is a request to recommend approval for the Community Development Department to proceed with preparation of an Evaluation and Appraisal Report for the Comprehensive Plan, and to notify the Florida Department of Economic Opportunity that an updated Comprehensive Plan will be prepared by August 1, 2018.

**Staff Presentation:** David Moon, AICP, Planning Manager, stated pursuant to Rule Chapter 73C-49, Florida Administrative Code, at least once every seven years, local governments are required to determine whether

or not it's comprehensive plan needs updating to reflect changes in state requirements since its last comprehensive plan update.

The EAR process provides the City the opportunity to update Comprehensive Plan policies to ensure they address the long-term planning vision of Apopka. In addition, EAR amendments to the Comprehensive Plan allows staff to address inconsistencies between the City's Comprehensive Plan and updated Land Development Code.

Community Development staff will notify the Florida Department of Economic Opportunity's Community Planning Division of the City of Apopka's intent to review current Comprehensive Plan Goals, Objectives & Policies.

Should City staff identify a need to update current policies, any proposed text amendments must be transmitted to the Florida Department of Economic Opportunity within one year, and will follow the public hearing process for Comprehensive Plan text and future land use amendments, including a Planning Commission hearing and recommendation followed by City Council public hearings for adoption.

The Planning Commission is delegated the role of Local Planning Agency by the City Council through Section 11.05.00.A of the Land Development Code and Ordinance No. 2137. Pursuant to Florida Statute 163.3174, "The governing body of each local government, individually or in combination as provided in s. 163.3171, shall designate and by ordinance establish a "local planning agency," unless the agency is otherwise established by law." Responsibilities of the Local Planning Agency, as defined by F.S. 163.3174, are included in the Exhibits.

Staff recommends that the Planning Commission recommend approval for the Community Development Department to proceed with preparation of an Evaluation and Appraisal Report for the Comprehensive Plan, and to notify the Florida Department of Economic Opportunity that an updated Comprehensive Plan will be prepared by August 1, 2018.

In response to questions by Mr. Simpson, Mr. Moon explained the process begins by the Planning Commission recommending City Council's authorization for staff to transmit a Letter of Intent to the Florida Department of Economic Opportunity (FDEO) by August 1, 2017; and to begin the review of the Comprehensive Plan Goals, Objectives & Policies. It is possible that during staff's review community meetings or workshops may be scheduled. Once the review is complete the proposed amendments will be transmitted to FDEO for its review within one year. Once the State review is complete and any revisions made, public hearings will be scheduled for presentation to the Planning Commission and to City Council. Since consultants will not be engaged to review and prepare the amendments, this will have handled in-house.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

**Motion:** Roger Simpson made a motion to recommend authorization to notify the Florida Department of Economic Opportunity that an updated Comprehensive Plan will be prepared by August 1, 2018; and the Community Development Department to proceed with preparation of an Evaluation and Appraisal Report for the Comprehensive Plan, and. Motion seconded by Tony Foster. Aye votes were cast by James Greene, Tony Foster, Linda Laurendeau, Jose Molina, and Roger Simpson (5-0). (Vote taken by poll.)

**MINUTES OF THE PLANNING COMMISSION REGULAR MEETING HELD ON JULY 11, 2017, AT 5:30 P.M.**

**OLD BUSINESS:** None.

**NEW BUSINESS:** None.

**ADJOURNMENT:** The meeting was adjourned at 5:46 p.m.

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James Greene, Chairperson

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James K. Hitt  
Community Development Director



**Backup material for agenda item:**

- 2 Approve minutes of the Planning Commission special meeting held July 25, 2017.

**MINUTES OF THE PLANNING COMMISSION MEETING HELD ON JULY 25, 2017, AT 6:00 P.M. IN THE CITY OF APOPKA COMMUNITY CENTER, 519 S. CENTRAL AVENUE, APOPKA, FLORIDA.**

**MEMBERS PRESENT:** James Greene, Melvin Birdsong, Tony Foster, Linda Laurendeau, Jose Molina, Roger Simpson, and John Sprinkle

**ABSENT:** Orange County Public Schools (Non-voting)

**OTHERS PRESENT:** James Hitt, FRA-RA, Community Development Director, David Moon, AICP - Planning Manager, Richard Earp – City Engineer; Patrick Brackins – City Attorney, Pam Richmond, AICP, Senior Planner, and Jeanne Green – Recording Secretary. There were approximately 300 residents in the audience. (The sign-in sheets are made a part of the record.)

**OPENING AND INVOCATION:** Chairman Greene called the meeting to order and asked for a moment of silent prayer. The Pledge of Allegiance followed.

**SWEARING-IN** – Mr. Brackens swore-in staff, the petitioners, and affected parties for the quasi-judicial items to be discussed.

**QUASI-JUDICIAL – PLAT – CARRIAGE HILL RESIDENTIAL SUBDIVISION** - Chairperson Greene stated this is a request to find the proposed Plat consistent with the Comprehensive Plan; and recommend approval of the Plat for Carriage Hill Residential Subdivision owned by JTD Land at Rogers Rd, LLC, and located east of Rogers Road, north of Lester Road (2303 Rogers Road).

Chairperson Greene asked if there were any affected parties in attendance that wished to speak. No one spoke.

Chairperson Greene asked if the Commission members had any ex parte communications to divulge regarding this item. No one spoke.

Staff Presentation: David Moon, AICP, Planning Manager, stated this is a request to find the proposed Plat consistent with the Comprehensive Plan; and recommend approval of the Plat for Carriage Hill Residential Subdivision owned by JTD Land at Rogers Rd, LLC, and located east of Rogers Road, north of Lester Road (2303 Rogers Road). The engineer is Dewberry Engineers, Inc. c/o Christopher Allen, P.E. The existing use is vacant land and the proposed use is a single-family residential subdivision with 72 lots. The minimum lot area to be 9,000 sq. ft. and minimum lot wide of 75 ft. The future land use is Residential Low Suburban (Max 3.5 du/ac) and the zoning is R-1. The proposed density is 2.42 du/ac. The tract size is 30.58 +/- acres and the developable area is 29.73 +/- acres with 1.78 +/- acres of open space.

The Carriage Hill Final Development Plan proposes the development of 72 single family residential lots and 0.42 acre Active and Passive Park. The community proposed a minimum typical lot width of 75 feet with a minimum lot size of 9,000 square feet (8,000 s.f. is required by code). The proposed minimum living area is 1,500 s.f., as set forth in Section 2.02.05.F of the Land Development Code.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	25'
Side	10'
Rear	20'
Corner	25'

\*Front-entry garage 10' must be setback 30 feet.

**MINUTES OF THE PLANNING COMMISSION MEETING HELD ON JULY 25, 2017, AT 6:00 P.M.**

Ingress/egress access points for the development will be via full access onto Rogers Road. Future road right-of-way is reserved for connection to future development on the northern abutting parcel, as shown between lots 15 and 16. A connection to the west in front of Lot 19 prevents the abutting western parcel from becoming landlocked.

There is one retention pond designed to meet the City's Land Development Code requirements.

The developer is providing 0.42 +/- acre (18,295.20 s.f.) of active and passive recreation space. Details of active and passive recreation equipment and facilities are as follows: playground and open space.

Landscape buffers provided are consistent with the Land Development. The City's Land Development Code and Tree Bank policy authorize the City Council to require the applicant to make a contribution to the City's Tree Bank to mitigate the remaining tree inches for the residential section. The Applicant has committed to pay \$10.00 per deficient tree inch (totaling \$11,590.00) into the Tree Bank prior to issuance of the initial Arbor/Clearing permit.

The following is a summary of the tree replacement program for this project:

Total inches on-site:	5009
Total number of specimen trees:	56
Total inches removed:	4737
Total inches retained:	272
Total inches replaced:	1160
Total Inches (Post Development):	1432

A school mitigation agreement has been obtained from OCPS. The County was notified at the time of the land use amendment and rezoning application for this property, and coordination occurred with County planning staff regarding impact on adjacent parcels.

The Development Review Committee recommends approval of the Carriage Hill - Plat, subject to the findings of the staff report. The Plat is consistent with the Final Development Plan, and the Final Development Plan is consistent with the approved Preliminary Development Plan.

Staff's recommendation is for the Planning Commission to find the Carriage Hill Plat consistent with the Final Development Plan and recommend approval of Carriage Hill Subdivision - Plat.

The role of the Planning Commission for this development application is to advise the City Council to approve or deny, the PLAT based on consistency with the Comprehensive Plan and Land Development Code. Planning Commission has already reviewed the Preliminary Development Plan for this project; therefore, the Final Development Plan goes directly to City Council.

This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Petitioner Presentation: None.

Affected Party Presentation: None.

Chairperson Greene opened the meeting for public hearing. With no one wishing to speak, Chairperson Greene closed the public hearing.

**Motion:** Tony Foster made a motion to find the proposed Plat consistent with the Comprehensive Plan; and recommend approval of the Plat for Carriage Hill Residential Subdivision owned by JTD Land at Rogers Rd, LLC, and located east of Rogers Road, north of Lester Road (2303 Rogers Road). Motion seconded by Linda Laurendeau. Aye votes were cast by James Greene, Melvin Birdsong, Tony Foster, Linda Laurendeau, Jose Molina, Roger Simpson, and John Sprinkle (7-0). (Vote taken by poll.)

**LEGISLATIVE – COMPREHENSIVE PLAN - LARGE SCALE – FUTURE LAND USE – NEW ERROL** - Chairperson Greene stated this is a request to find the proposed Future Land Use Amendment consistent with the Comprehensive Plan; and to recommend approval of the Large Scale Future Land Use Amendment from Parks & Recreation to Residential Medium (0-10 du/ac); Residential High (0-15 du/ac); and Commercial (Max 0.25 FAR) for the property owned by Errol Club Villas Condo Assoc. Inc.; 5th Hole Investments; Errol Estate Country Club LTD; Errol Estate Management; Lexington Homes; and the City of Apopka generally located north of Lake Marion Drive and Lexington Parkway, south of Lester Road, east of Schopke Lester Road, and west of Vick Road; and to recommend approval to transmit to the Florida Department of Economic Opportunities for review.

Staff Presentation: James Hitt, FRA-RA, Community Development Director, stated this is a request to find the proposed Future Land Use Amendment consistent with the Comprehensive Plan; and to recommend approval of the Large Scale Future Land Use Amendment from Parks & Recreation to Residential Medium (0-10 du/ac); Residential High (0-15 du/ac); and Commercial (Max 0.25 FAR) for the property owned by Errol Club Villas Condo Assoc. Inc.; 5th Hole Investments; Errol Estate Country Club LTD; Errol Estate Management; Lexington Homes; and the City of Apopka; and to recommend approval to transmit to the Florida Department of Economic Opportunities for review. The area is generally located north of Lake Marion Drive and Lexington Parkway, south of Lester Road, east of Schopke Lester Road, and west of Vick Road.

The applicant is Signature H Property Group and the consulting planner is GAI Consultants. The existing use is a golf course and club house. The proposed uses are single family units, townhomes, an assisted living facility, community parks, a commercial amenities complex with hotel, restaurant, aquatic park, and recreation facilities. The current zoning is Parks & Recreation and the proposed zoning is Planned Unit Development (PUD). The tract size is 79.09 +/- acres.

The existing maximum allowable development is a golf course and a club house. The proposed maximum allowable development is up to 400 dwelling units (67 single family, 194 townhome and 139 multi-family), commercial amenity complex with hotel, restaurant, aquatic park, and recreation facilities; or up to 261 du (67 single family, 194 townhome), commercial amenity complex with hotel, restaurant, aquatic park, and recreation facilities; 240 bed assisted living facility

The proposed use of the property is compatible with the character of the surrounding area, is within close proximity to the SR 429/Ocoee Apopka Road interchange, and is consistent with the Mixed Use Land Use designation. City planning staff supports the FLUM amendment given the consistency with the Comprehensive Plan policies listed below and the intent of the Ocoee Apopka Road Small Area Study (see Land Use Analysis below). Site development cannot exceed the intensity allowed by the Future Land Use policies.

*Future Land Use Element*

1. **Policy 3.2** Development and redevelopment shall be integrated with the adjacent land uses through: (1) the creation of like uses; or (2) creation of complementary uses; or (3) mitigation of adverse impacts.

The proposed use for the subject properties as mixed use residential/non-residential development is consistent with the current and future proposed development of the surrounding area as recommended by Planning staff in the Recommendations below.

*Transportation Element*

1. **Policy 4.2** The City of Apopka shall promote, through the implementation of programs such as mixed-use land development, projects that support reduced travel demand, shorter trip lengths and balanced trip demand.

The New Errol project has a proposed master plan as provided with the supporting documents. An executed capacity enhancement agreement with Orange County Public Schools will be required prior to adoption of the future land use amendment. The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on December 9, 2016.

The Development Review Committee recommends approval as provided below:

The applicant proposed Future Land Use Designations that allow higher densities than that which are proposed within the proposed Master Plan. Thus, the master plan demonstrates a more suitable density for the proposed development sites. Further, compatibility of the proposed FLUM designations, as recommended by planning staff below, with adjacent and surrounding areas must be further demonstrated through buffer and screen techniques, land use design, and development standards. As these remain incomplete in the Master Plan, the applicant may be able to demonstrate potential for compatibility through modifications to the Master Plan. Staff is recommending to transmit the proposed FLUM amendments, as shown below, to State agencies.

Staff's recommendation to the Planning Commission is to recommend transmittal of the proposed Future Land Use Map amendments for New Errol to State agencies as follows:

1. Neighborhood "A": Residential Low Suburban (0 – 7.5 du/ac)
2. Neighborhood "B": B-1 – Commercial;  
B-2 – Residential Medium Density (0 -10 du/ac)
3. Neighborhood "C": Residential Medium Low (up to 7.5 du/ac)
4. Neighborhood "D": Residential Medium Low (up to 7.5 du/ac)
5. Neighborhood "E": Neighborhood E South: Residential Low Suburban (up to 3.5 du/ac)  
Neighborhood E North: Residential Low (up to 5 du/ac) for Neighborhood E South.
6. Neighborhood "F": Neighborhood F South: Residential Low (up to 5 du/ac)  
Neighborhood F North: Residential Medium Low (up to 7.5 du/ac)

7. Neighborhood "G": Residential Medium Low Density (Up to 7.5 du\ac) (with interpretation of Policy 3.1.f that institutional uses of 10 acres or less are allowed under PUD zoning and that an assisted living type facility may be deemed a compatible land use through PUD zoning.
8. A master plan under PUD zoning and a development agreement demonstrate that each of the proposed FLUM amendments are compatible with surrounding and abutting residential uses through appropriate buffer and screen techniques, height restrictions, other applicable and appropriate performance standards, and management of compatible and complementary land uses allowed or prohibited within each "Neighborhood" zone.

This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Blake Drury, GAI Consultants, Inc., 618 E South St Suite 700, Orlando, and Helmuth Wyzisk, Signature H Property Group, 300 South Orange Avenue Orlando, presented the details of the proposed project and a video.

In response to questions by Mr. Foster, Mr. Drury stated the proposed mix of uses are common and can be found in projects such as Oakland Park and Baldwin Park. A traffic study was completed and is consistent with the City's requirements. There will be a new access point onto Vick Road to better disperse the traffic flow. The proposed speed limit will be 25 miles per hour.

In response to a question by Mr. Foster, Mr. Wyzisk III, stated that 34 room hotel would be an ideal location for corporate events or weddings. He stated there is a limited area for possible expansion for the hotel.

In response to questions by Mr. Molina, Mr. Wyzisk III, stated that the proposed development will have no impact on the homeowners' association fees. Having the proposed development gated was considered but the decision was made not to have gates. There will be security cameras installed and possibly on-site security as well.

In response to questions by Mr. Simpson, Mr. Drury stated that due to the configuration of the land they used a unique approach to the project. They plan to extend the 18-hole golf course to create a championship golf course.

In response to a question by Mr. Molina, Mr. Wyzisk II, stated that funds for the project would come from the outside and the land would be used as collateral. The amenities will be built first so as to being pulling in revenue. He stated that once the amenities are built, finding investors will not be an issue.

Chairperson Greene opened the meeting for public hearing and asked the Recording Secretary to read several letters into the record that were received from those residents unable to attend the meeting. Those letter were made a part of the record.

Ernest Bursey, 1270 Lexington Parkway, voiced his support of the proposed land use changes and development.

Sheryl Manche, 1551 Lake Marion Drive, voiced her support of the proposed land use changes and development.

**MINUTES OF THE PLANNING COMMISSION MEETING HELD ON JULY 25, 2017, AT 6:00 P.M.**

Jean Swette, 1228 Green Vista Circle, voiced her support of the proposed land use changes and development.

In response questions by Madonna Patrick, 809 Pink Camelia Court, Mr. Wyzisk, III, stated that barring any financial downturns on a global scale or not being approved, the development will be built starting with the amenities. The amenities will bring in more investors. That includes the assisted living facility (ALF) and the championship golf course. During that period the proposed Staghorn Drive will only be opened to construction traffic. At this time, it is unknown if there will be a traffic signal installed at Staghorn Drive and Vick Road.

In response to questions by Ms. Patrick, Mr. Moon stated that a transportation analysis was completed and a light is proposed at Vick Road and Marden Road. He stated that if the ALF was not constructed, the proposed zoning would allow single and multi-families homes on that property. Staff is recommending a maximum density of 7.5 dwelling units per acre. He said that if the ALF is not constructed, townhomes and single family homes would likely be built in that location.

In response to a question by Ms. Patrick, Mr. Wyzisk, III, stated that currently there are approximately 269 members of the golf club. It is estimated by the end of the first year there will be approximately 300 to 500 members.

Carl Freedman, 801 Crepe Myrtle Circle, voiced his opposition to the project siting concerns regarding the intensity of the commercial portion of the project; and traffic impacts due to the new roadway being built adjacent to Crepe Myrtle Circle and White Ivey Circle.

Duane Rollins, 701 White Ivey Court, voiced his opposition to the project siting concerns regarding the intensity of the commercial portion of the project; and traffic impacts due to the new roadway being built adjacent to Crepe Myrtle Circle and White Ivey Circle. He suggested the developer come up with formulas that would address the adverse impacts on the lots that will be directly impacted by the project.

Frank Maxwell, 771 Crepe Myrtle Circle, stated he is not opposed to the projects; however he voiced his concerns regarding possible soil contamination in the area of the golf course that is to be converted for the project.

Bob Goff, 809 Red Hibiscus Court, Vice-President of the Errol Estate Property Owners Association, asked that those questions be answered in writing.

Bill Edwards, 2072 Lake Todd Court, voiced his concern regarding the potential contamination to the golf course property.

Tom Watson, 1705 Golf Garden Way, voiced his support of the proposed land use changes and development.

Louis Smith, 1817 Precious Circle, President of the Errol Estate Property Owners Association, and Mr. Goff submitted information packets for the Planning Commission that included a letter to David Moon with a list of questions that they would like to have answered prior to approval of the City Council. They asked that the questions be answered in writing.

Victoria Davies, 1257 Errol Parkway, voiced her support of the proposed land use changes and development.

**MINUTES OF THE PLANNING COMMISSION MEETING HELD ON JULY 25, 2017, AT 6:00 P.M.**

Greg Zbylut, 2017 Eagles Rest Drive, voiced his support of the proposed land use changes and development.

Louis Nichols, 741 White Ivey Court, voiced his support of the proposed land use changes and development; but had concerns regarding the loss of the view of the natural setting and the wildlife from his backyard. He suggested that the developer provide a method to mitigate that loss with those property owners directly affected.

David Schmidt, 1524 Lucky Pennie Way, voiced his support of the proposed land use changes and development.

Michelle Hurd, 1200 Lexington Parkway, voiced her support of the proposed land use changes and development.

Isabelle Beaux, 1177 Errol Parkway, voiced her opposition to the proposed land use change and development. Expressed concerns regarding the future of Errol Estate if the development occurs.

Mr. Helmuth II reiterated that the proposed development will create new revenue streams to sustain Errol Estate. The championship golf course and the ALF will underwrite the amenities. The waterpark will have a social membership which will create revenue. Barring any major financial disaster in the economy, the golf course will stay open. The proposed golf course will make money because it will be the best golf course in Central Florida.

Barbara Brostrom, 801 Pink Camelia Court, voiced her concerns regarding the impacts from noise and lighting. She requested that the developer not put up a brick wall and to keep the type of vegetation and trees, such as oaks, that are more characteristic of the Errol Estate community.

Connie Jones, 1249 Golf Point Loop, voiced her concern that once the development is constructed that property owners will convert their homes to short-term rentals and asked that this not be allowed.

Carol Publicover, 711 Crepe Myrtle Circle, voiced her support for the new roadway. She said that currently there is only one way in and out on Crepe Myrtle Circle and if the new road had been built it would have allowed easier access to her home during a recent family emergency.

Angela Rubright, 1815 Cranberry Isles Way, voiced her support of the proposed land use changes and development.

With no one else wishing to speak, Chairperson Greene closed the public hearing.

Chairperson Greene stated that this meeting was for the change in future land use for the subject properties and noted that most of the concerns expressed would be more accurately addressed during the change of zoning, once the future land use is adopted, and the development plan phases of the project.

Mr. Moon concurred with Chairperson Greene.

**Motion:** Linda Laurendeau made a motion to recommend approval of the Large Scale Future Land Use Amendment from Parks & Recreation to Residential Medium (0-10 du/ac); Residential High (0-15 du/ac); and Commercial (Max 0.25 FAR) subject to:



1.	Neighborhood “A”:	Residential Low Suburban (0-7.5 du/ac)
2.	Neighborhood “B”:	B-1 – Commercial; B-2 – Residential Medium Density (0 -10 du\ac)
3.	Neighborhood “C”:	Residential Medium Low (up to 7.5 du\ac)
4.	Neighborhood “D”:	Residential Medium Low (up to 7.5 du\ac)
5.	Neighborhood “E” South:	Residential Low Suburban (up to 3.5 du\ac)
	Neighborhood “E” North:	Residential Low (up to 5 du\ac)
6.	Neighborhood “F” South:	Residential Low (up to 5 du\ac)
	Neighborhood “F” North:	Residential Medium Low (up to 7.5 du\ac)
7.	Neighborhood “G”:	Residential Medium Low Density (Up to 7.5 du\ac) (with interpretation of Policy 3.1.f that institutional uses of 10 acres or less are allowed under PUD zoning and that an assisted living type facility may be deemed a compatible land use through PUD zoning.
8.	A master plan under PUD zoning and a development agreement demonstrate that each of the proposed FLUM amendments are compatible with surrounding and abutting residential uses through appropriate buffer and screen techniques, height restrictions, other applicable and appropriate performance standards, and management of compatible and complementary land uses allowed or prohibited within each “Neighborhood” zone.	

for the property owned by Errol Club Villas Condo Assoc. Inc.; 5th Hole Investments; Errol Estate Country Club LTD; Errol Estate Management; Lexington Homes; and the City of Apopka generally located north of Lake Marion Drive and Lexington Parkway, south of Lester Road, east of Schopke Lester Road, and west of Vick Road; and to recommend approval to transmit to the Florida Department of Economic Opportunities for review. Motion seconded by John Sprinkle. Aye votes were cast by James Greene, Melvin Birdsong, Tony Foster, Linda Laurendeau, Jose Molina, Roger Simpson, and John Sprinkle (7-0). (Vote taken by poll.)

**OLD BUSINESS:** None.

**NEW BUSINESS:** Mr. Hitt announced that the next public hearing for the New Errol Large Scale Future Land Use Amendment and request to authorize transmittal to the Florida Department of Economic Development and other state agencies will be the City Council meeting to be held on Tuesday, August 22, 2017, at 5:30 p.m. in the Apopka Community Center, 519 S. Central Avenue.

**ADJOURNMENT:** The meeting was adjourned at 8:55 p.m.

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James Greene, Chairperson

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James K. Hitt  
Community Development Director

**Backup material for agenda item:**

1. COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT – Owned by George Thum, Jr. & Phillip and Peggy Dionne, from “County” Rural (0-1 du/10 ac) and “City” Agriculture (0-1 du/5 ac) to “City” Institutional/Public Use, for property located west of Jason Dwelley Parkway, south of West Kelly Park Road. (Parcel ID #s: 18-20-28-0000-00-053; 18-20-28-0000-00-054)



**CITY OF APOPKA  
PLANNING COMMISSION**

PUBLIC HEARING  
 SITE PLAN  
 SPECIAL REPORTS  
 OTHER:

MEETING OF: August 8, 2017  
FROM: Community Development  
EXHIBITS: Land Use Report  
Vicinity Map  
Future Land Use Map  
Adjacent Zoning Map  
Adjacent Uses Map  
Existing Uses

**SUBJECT: COMPREHENSIVE PLAN – LARGE SCALE – FUTURE LAND USE AMENDMENT – GEORGE THUM, JR & PHILLIP AND PEGGY DIONNE**

**PARCEL ID #(S): 18-20-28-0000-00-053; 18-20-28-0000-00-054**

**REQUEST: COMPREHENSIVE PLAN - LARGE SCALE - FUTURE LAND USE AMENDMENT**

**FROM: “COUNTY” RURAL (0-1 DU/10 AC) AND  
“CITY” AGRICULTURE (0-1 DU/5 AC)**

**TO: “CITY” INSTITUTIONAL/PUBLIC USE**

**SUMMARY:**

OWNERS: George Thum, Jr. & Phillip and Peggy Dionne  
APPLICANT: Orange County Public Schools c/o Tyrone Smith, AICP  
LOCATION: West of Jason Dwelley Parkway, south of West Kelly Park Road  
EXISTING USE: Single-family residences  
DEVELOPMENT POTENTIAL: Proposed elementary school  
CURRENT ZONING: “County” A-1 (ZIP) & “City” AG (Agriculture)  
PROPOSED ZONING: “City” PO/I (Professional Office/Institutional)  
MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT: EXISTING: Single-family residences  
PROPOSED: Elementary school  
TRACT SIZE: 15.17 +/- acres

**FUNDING SOURCE:**

N/A

**DISTRIBUTION**

Mayor Kilsheimer  
Commissioners  
City Administrator  
Community Development Director

Finance Director  
HR Director  
IT Director  
Police Chief

Public Services Director  
Recreation Director  
City Clerk  
Fire Chief

**ADDITIONAL COMMENTS:** The applicant intends to use the subject properties for a public elementary school, and requests the City to assign a future land use designation of Institutional/Public Use to the property. Elementary schools are permitted within the Institutional/Public Use Future Land Use Designation.

The subject properties were annexed into the City on November 16, 2005 via Ordinance 1787 and on June 21, 2017 via Ordinance 2573. The proposed Large Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties ten acres or more are required to undergo review by State planning agencies.

A request to assign a Future Land Use Designation of Institutional/Public Use is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 15.17 acres.

Residential Very Low Suburban FLUM Uses:

“The primary use shall be residential dwelling units up to 2 dwelling units per acre, **elementary schools**; middle schools; supporting infrastructure of less than two acres, neighborhood parks.” [Emphasis added]

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report). Based on the findings of the Land Use report, the proposed FLUM amendment is compatible with the surrounding and nearby land uses and the character of the general area.

**COMPREHENSIVE PLAN COMPLIANCE:** The existing and proposed use of the property is consistent with the Institutional/Public Use designation and the proposed Professional Office\Institutional zoning.

**SCHOOL CAPACITY REPORT:** Since the proposed use as a public elementary school is a non-residential use, a capacity enhancement agreement with OCPS is not required.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on July 13, 2017.

**PUBLIC HEARING SCHEDULE:**

August 8, 2017 - Planning Commission (5:30 pm)

September 6, 2017 - City Council (1:30 pm) - 1st Reading & Transmittal

**DULY ADVERTISED:**

July 21, 2017 – Public Notice and Notification

TBD – ¼ Page w/Map Ordinance Heading Ad

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**RECOMMENDATION ACTION:**

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends transmittal of the change in Future Land Use from “County” Rural (0-1 du/10 ac) and “City” Agriculture (0-1 du/5 ac) to “City” Institutional\Public Use for the properties owned by George Thum, Jr., and Phillip and Peggy Dionne.

**Recommended Motion:** Find the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend transmittal of the Future Land Use Map designation from “County” Rural and “City” Agriculture to “City” Institutional\Public Use to the Florida Department of Economic Opportunity.

**Note:** This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

**LAND USE REPORT**

**I. RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City & County)	“City” Res. Very Low Suburban (0-1 du/2 ac) and “County” Rural (0-1 du/10 ac)	“City” R-1AAA & “County” A-1	Container nursery and single-family residence
East (City)	Residential Estates (1 du/ac)	PUD	R-O-W and Rock Springs Ridge subdivision
South (City)	Residential Very Low Suburban (0-2 du/ac)	PUD	Orchid Estates residential subdivision (under construction)
West (County)	Rural	A-1	Large lot Single family home

**II. LAND USE ANALYSIS**

The applicant intends to develop the property as part of a public elementary school. Predominant existing land uses and assigned zoning in the abutting and surrounding area are residential in nature, while nearby property utilized for the Northwest Recreation Complex is assigned a land use designation of Institutional/Public Use. These adjacent and nearby land uses are consistent with the proposed Institutional/Public Use Future Land Use Designation. The proposed use as a public elementary school is a permitted use within the Institutional/Public Use Future Land Use Designation.

North: Abutting the subject property to the north is a single-family homes and horticultural nursery.

West: Properties to the west of the subject site have a future land use designation of Residential Very Low Suburban, current being developed as part of the Chandler Estates subdivision.

South: Single-family homes are slated for development as part of the approved Orchid Estates community, with a future land use designation of Residential Very Low Suburban. In addition, an existing Institutional/Public Use land use designation is approximately a half mile from the subject properties and assigned to the City of Apopka’s Northwest Recreation Complex.

East: To the east of the subject site, the property fronts R-O-W for Jason Dwelley Parkway as well as is adjacent to the Rock Springs Ridge single-family subdivision which has a future land use designation of Residential Estates (0-1 du/ac).

The proposed future land use designation of “City” Institutional/Public Use is consistent with the surrounding future land use designations to the west and south, considering the proposed use – an elementary school – provide an important and necessary public purpose related to the public welfare and quality of life.

Therefore, staff supports the proposed future land use changes.

Other Information:

Wekiva River Protection Area: No  
 Area of Critical State Concern: No  
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within “North Central” of the JPA.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The property fronts Jason Dwelley Parkway, a city collector road. The vegetative communities present are urban; the soils present are Candler fine sand; and no wetlands occur on the site, and the terrain has a 0-5 percent slope.

The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.c Residential Very Low Suburban Future Land Use designation.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property Residential Very Low Suburban (0-2 du/ac). Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population should the subject property be developed as single-family residences rather than the proposed public elementary school.

#### **CALCULATIONS:**

ADOPTED (City and County designations): 1 Unit(s) x 2.659 p/h = 3 persons

PROPOSED (City designation): Elementary School = 500 seats

Housing Needs: This amendment, particularly if developed as a school site, will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments ten (10) acres or more in size. This site is greater than ten acres. A habitat study will be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Potable Water, Reclaimed Water & Sanitary Sewer Analysis: The subject property is located within the City of Apopka service area for potable water, reclaimed water and sanitary service.

#### Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 100 GPD/Capita;  
100 GPD / Capita

If the site is not currently served, please indicate 22 designated service provider: City of Apopka

2. Projected total demand under existing designation: 300 GPD
3. Projected total demand under proposed designation: 2,550 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 100 GPD/Capita
6. Projected LOS under proposed designation: 5.1 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka ; 100 GPD/Capita; 100 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 300 GPD
3. Projected total demand under proposed designation: 2,550 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 100 GPD/Capita
6. Projected LOS under proposed designation: 5.1 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 1.8 lbs./person/day
4. Projected LOS under proposed designation: 4.5 lbs./day/1000 sf
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 9.353 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 25 year - 96 hour design storm
3. Projected LOS under proposed designation: 25 year - 96 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation - Not applicable.

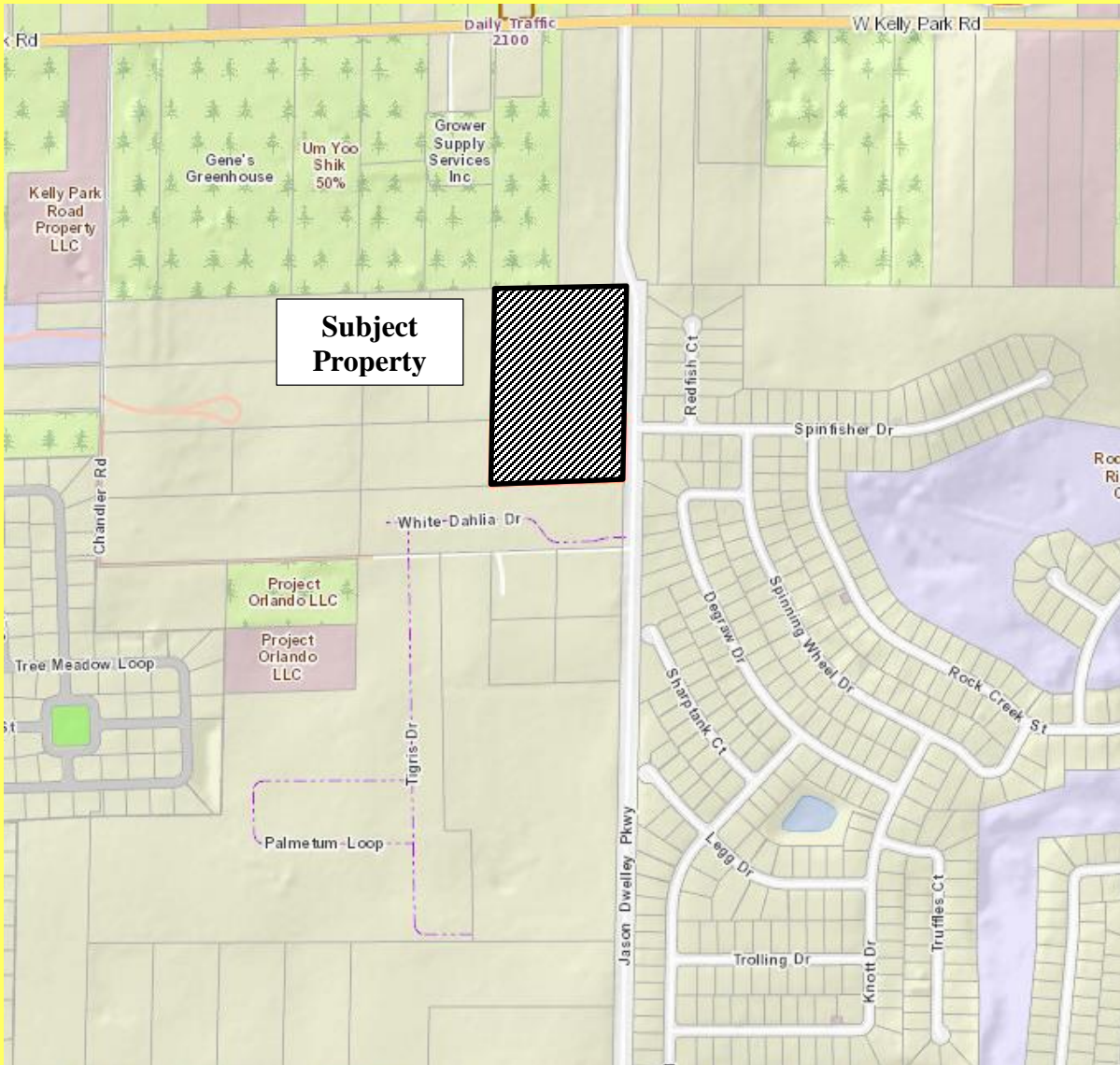
This initial review does not preclude conformance with concurrency requirements at the time of development approval.





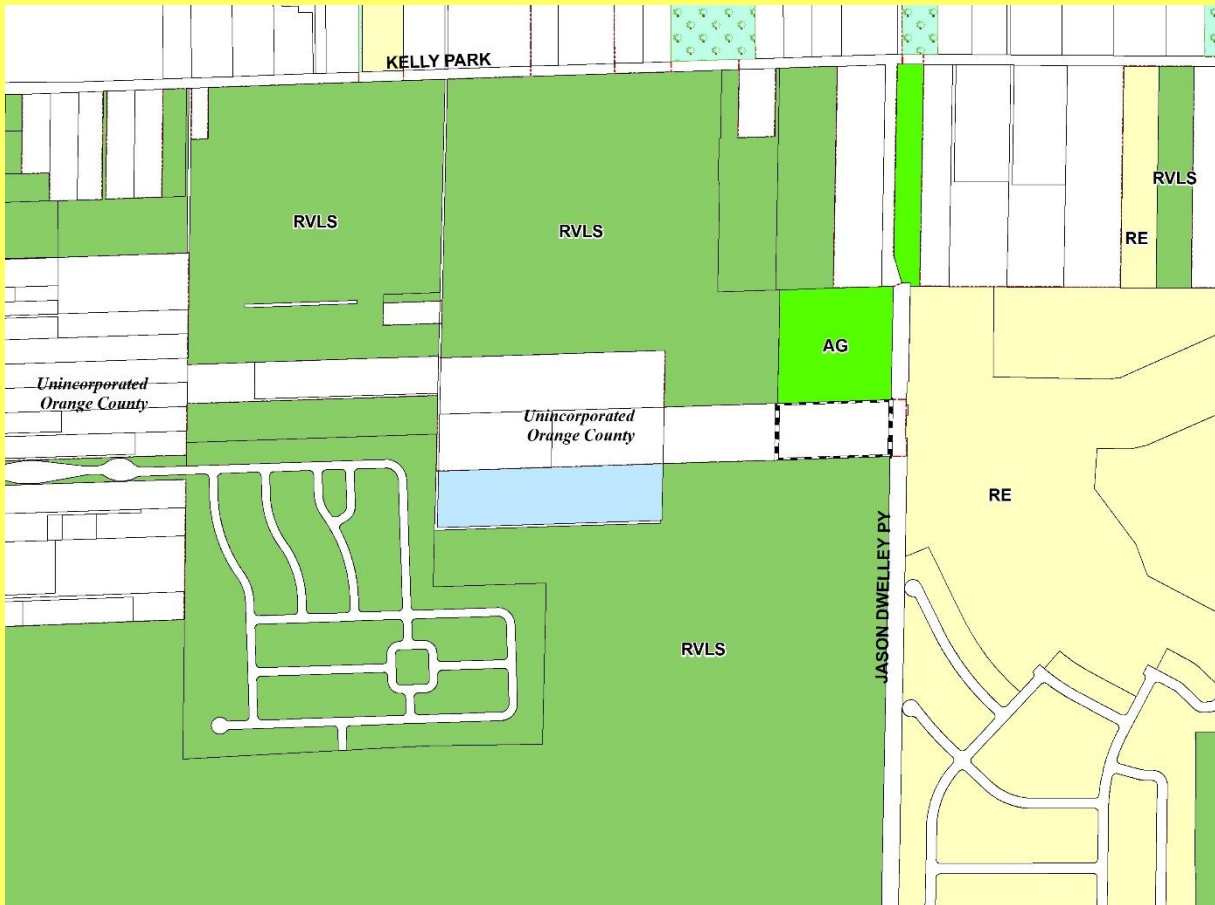
**George Thum, Jr. & Phillip and Peggy Dionne**  
**Proposed Large Scale Future Land Use Amendment:**  
**From: “County” Rural (0-1 du/10 ac) & “City” Agriculture (0-1 du/5 ac)**  
**To: “City” Institutional/Public Use**  
**Proposed Change of Zoning:**  
**From: “County” A-1 (ZIP) & “City” AG (Agriculture)**  
**To: “City” PO/I (Professional Office/Institutional)**  
**Parcel ID #s: 18-20-28-0000-00-053 & 18-20-28-0000-00-054**

### VICINITY MAP



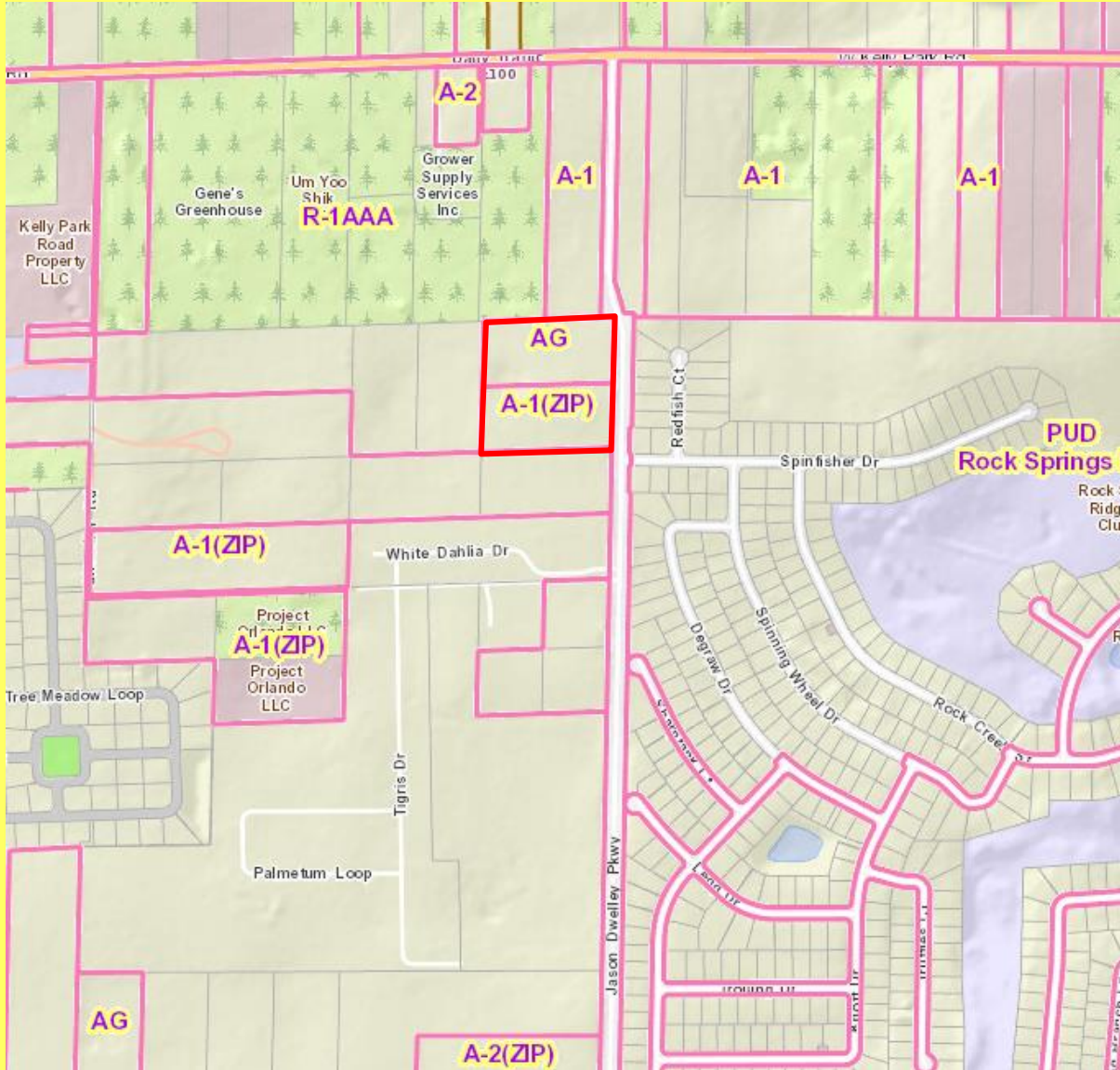


### FUTURE LAND USE MAP



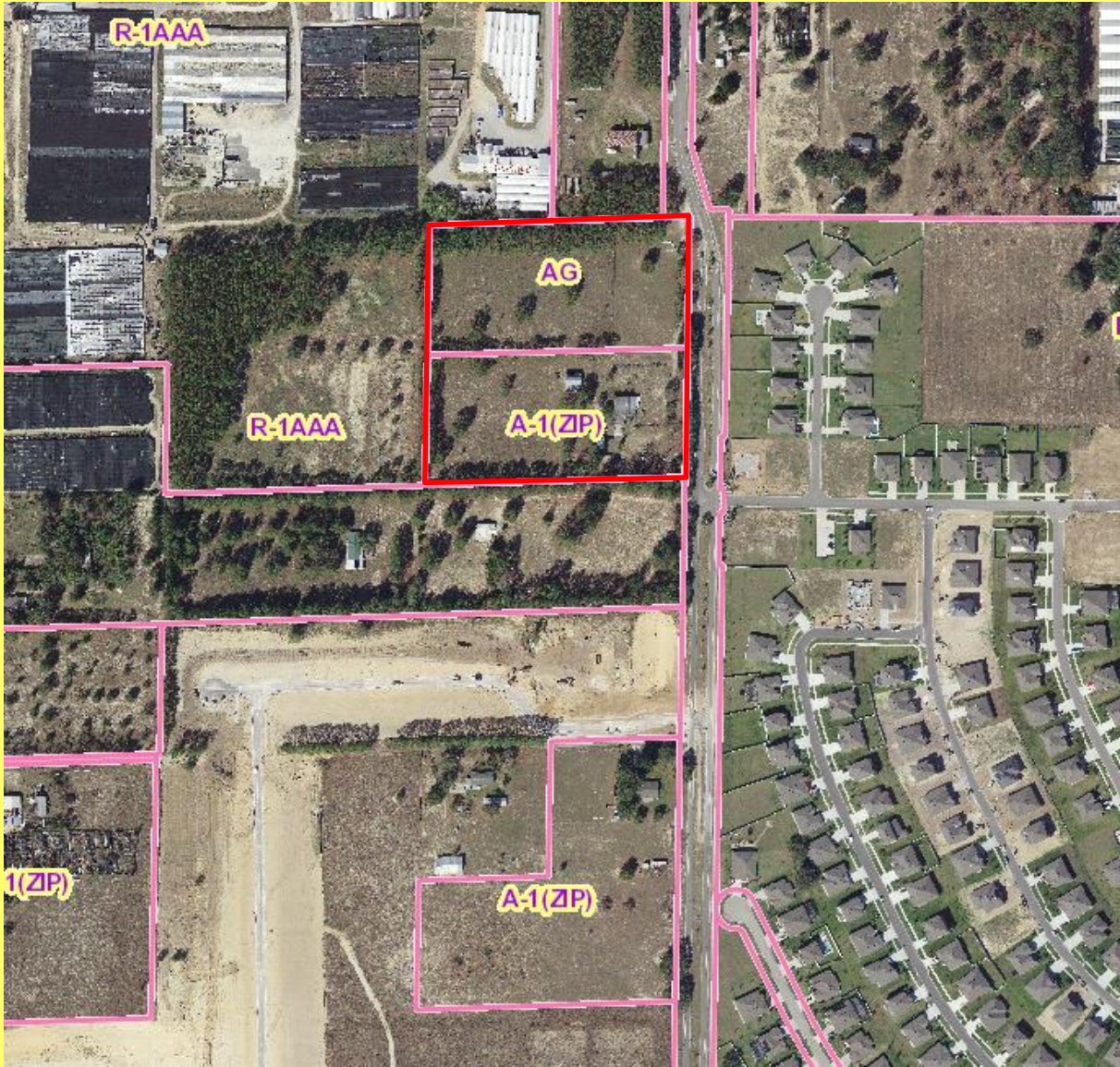


### ADJACENT ZONING





### ADJACENT USES





## EXISTING USES



**Backup material for agenda item:**

2. CHANGE OF ZONING/PUD MASTER PLAN - OAK POINTE SOUTH (AKA Thompson Hills Estates), from Planned Unit Development to Planned Unit Development (New Master Site Plan); for property owned by Thompson Hills Estates LLC (Oak Pointe PUD) and located east of Ocoee Apopka Road, north of McCormick Road. (Parcel ID Nos.: 29-21-28-0000-00-011; 29-21-28-0000-00-016; 29-21-28-0000-00-033; and Portions of: 29-21-28-0000-00-038; 32-21-28-0000-00-004; 32-21-28-0000-00-030)



# CITY OF APOPKA PLANNING COMMISSION

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: PUD Master Plan

MEETING OF: August 8., 2017  
 FROM: Community Development  
 EXHIBITS: Zoning Report  
 Vicinity Map  
 Adjacent Zoning Map  
 Adjacent Uses Map  
 Existing Use Map  
 Master Plan\PDP  
 Townhome Architectural Renderings  
 Gate Entrance Feature

**SUBJECT:** CHANGE OF ZONING – THOMPSON HILLS ESTATES (OAK POINTE SOUTH PUD)

**PARCEL ID NUMBERS:** 29-21-28-0000-00-011; 29-21-28-0000-00-016; 29-21-28-0000-00-033; and Portions of: 29-21-28-0000-00-038; 32-21-28-0000-00-004; 32-21-28-0000-00- 030

**REQUEST:** Recommend to approve PUD zoning and the Oak Pointe Master Plan\Preliminary Development Plan subject to conditions of approval.  
**FROM:** PLANNED UNIT DEVELOPMENT  
**TO:** PLANNED UNIT DEVELOPMENT (NEW MASTER SITE PLAN)

**SUMMARY:**

**OWNER/APPLICANT:** Thompson Hills Estates LLC (Oak Pointe PUD)  
**LOCATION:** East of Ocoee Apopka Road, north of McCormick Road  
**EXISTING USE:** Vacant  
**FLUM DESIGNATION:** Mixed Use  
**CURRENT ZONING:** PUD (Planned Unit Development)  
**PROPOSED DEVELOPMENT:** Single-family and townhome residential development  
**PROPOSED ZONING:** Planned Unit Development (PUD) (New Master Site Plan)  
**TRACT SIZE:** 67.7 +/- acres  
**PROPOSED DEVELOPMENT:** 118 single family homes; 106 townhome units

**FUNDING SOURCE:**

N/A

**DISTRIBUTION**

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

**ADDITIONAL COMMENTS:**

Process: A Planned Unit Development (PUD) zoning currently is assigned to the subject property. The PUD Master Plan associated with the subject property expired several years ago. A PUD new master plan must be approved through a rezoning hearing process. As part of the PUD

Development Summary: The PUD Master Plan includes 106 townhomes and 118 single family homes within a gated community with private streets. A single master homeowners association will serve both the single family homes and townhomes.

- Single family lots typically have a minimum width of 70 feet and a minimum lot area of 8,400 sq. ft., a minimum house livable area of 1,500 sq. ft. and a minimum two-car enclosed garage. A small percent of single family lots (6.8% totaling 8 lots) have a minimum typical lot width of 65 feet and a minimum lot area of 7,800 sq. ft., also with a minimum house livable area of 1,500 sq. ft. and a minimum two-car enclosed garage. No three-car garages are allowed.
- Townhomes will have a minimum lot width of 23 feet and a minimum lot area of 2,530 sq. ft. All townhome units offer a one-car enclosed garage. No two-car enclosed garages are proposed by the developer. Some (75 units) have a one-car driveway; some (31 units) have a two-car driveway.
- Two parks are provided and will be accessible to all residents. Tract N-1 provides a community swimming pool and a cabana with a parking lot. A second community park provides outdoor recreation on 2.03 acres (Tract K-6) and includes a fenced-in dog park.
- To accommodate a private, gated community, the applicant requests to vacate the right-of-way for Irmallee Road, a gated paved public right-of-way ranging in width from 80 feet to as much as 250 feet. One other property owner (not associated with the PUD application) is surrounding by the PUD Master Plan and accesses Irmallee Lane. This one-acre parcel will be granted access rights to the private road if the Irmallee ROW is vacated by City Council.
- Access will occur through a road connection to McCormick Road and a future road connection to Ocoee-Apopka Road. A gate will be located at both the north and south entrances. An emergency gate will be located on the eastern boundary, connecting to Pelock Drive within the Apopka Woods community.
- Perimeter buffers include: a ten foot buffer with a six-foot high brick wall along the western property line adjacent to S.R. 429, a six-foot high vinyl fence within a ten foot buffer next to the Apopka Woods community and next to the County's Northwest Reclamation facility.

Existing Conditions: The Oak Point property owner also owns 69.89 acres serviced by a gated public road – Irmallee Lane. The site typically has a flat topography with no wetlands. Located along the north side of McCormick Road, the PUD Master Plan The City of Ocoee is situated along the south side of McCormick Road. The proposed residential PUD Master Plan abuts land zoned commercial. The commercial land sites between McCormick Road and the single family residential Master Plan are not part of the PUD application. An existing public road – Irmallee Lane – extends from McCormick Road northward through the property. Apopka Woods is a 76 lot, single family residential neighborhood that abuts most of the eastern boundary of Oak Pointe. Typical lots within Apopka wood have a minimum width of 70 feet and a minimum land area of 7,500 sq. ft.



The Orange County Northwest Reclamation Water Facility on portions of its north and northwest boundary, the Apopka Woods residential community (R-2 zoning, 70 foot wide lots),

Directly to the south of Oak Pointe is a private gated residential community – McCormick Woods – with typical lots of 70 x 125 (8,750 sq. ft.).

Annexation History: The subject properties were annexed into the City via Ordinance 1651 on December 18, 2002. A public road with a right-of-way width ranging from 80 to 150 feet extends from McCormick Road to the Tract L-1 of the project.

**Recreation Amenities:**

**Tract N-1**

- Swimming Pool.
- Pool area surrounded by a 36” viburnum hedge, crepe myrtles, magnolia trees, live oak trees, and approved ground cover.
- Pool parking lot - 13 parking plus one handicap parking space.
- Bike rack located adjacent to parking lot.
- 2,200 +/- SF Cabana located next to the pool surrounded by landscaping that blends with the pool landscaping.
- The cabana will be partially open, with the open area surrounded by a four foot metal guardrail/fence.
- A paved sidewalk from the Cabana connects to the sidewalk along Street I.
- An outdoor shower will be placed on both the east and west sides of the building.
- The pool and cabana are appropriately located near the center of the development, easily accessible to both the single family residential units and the townhome.

**Tract L-6**

- Two multi-purpose playing fields.
- Mulched walking trail around the perimeter of the Tract.
- Paved sidewalk will placed along the west side of the park, connecting Street I with the Tot Lot, Dog Park, and parking lot.
- Paved sidewalk will connect the parking lot at Tract O-1 with the paved sidewalk along the west side of the park.
- Three picnic tables.
- Litter receptacle - 24” X 30” size.
- Eight benches, each with armrests.
- Tot Lot with playground equipment – slides, climbing equipment.
- Dog park with five foot high vinyl coated chain link fence, screened with a viburnum hedge.
- Dogipot aluminum pet station with pet waste receptacle.
- Dog park will be handicap accessible.
- Bike rack located in Tract K-5, between the parking lot and sidewalk along the west side of the park.
- Pedestrian level lighting
- Park area surrounded by a viburnum hedge, sabal palms, crepe myrtles, magnolia trees, live oak trees, and approved ground cover.

**RECOMMENDED PUD CONDITIONS OF APPROVAL:**

1. A development agreement must be approved by City Council that addresses dedication of a 60-foot wide right-of-way from the northern project line to Ocoee-Apopka Road following alignment delineated in the Oak Pointe North Master Plan; addresses the construction of the southern road from PUD south to McCormick Road; address access rights for the owner and subsequent owners of parcel number 29-21-28-0000-00-037 and addresses project phasing and development conditions.
2. For all recreation and park improvements, a performance bond in an amount acceptable to the City is required if such improvements do not receive a certificate of completion by the first building permit issued for a residential development.
3. Tree removal and arbor mitigation fee shall be determined at the time of the Final Development Plan.
4. Number and location of handicapped parking spaces shall be determined at the time of the Final Development Plan.
5. All recreation areas\parks shall be irrigated.
6. Townhome and single family home architectural design shall be determined at the Final Development Plan. The current renderings shall be removed from the PUD Master Plan and are not part of the Master Plan approval.
7. Current gate at south end of Irmalee Lane at McCormick Road shall be removed by Oak Pointe owner within 14 days of written request of the city engineer.
8. Irmalee Road vacate is approved by City Council upon adoption of the Oak Pointe PUD Ordinance. The road vacate shall be processed as part of the platting process.
9. The spine road from McCormick Road to the northern property line shall be completed prior to the issuance of the first certificate of occupancy for a residential unit.
10. All infrastructure that will be dedicated to the City and all roads and sidewalks shall be constructed to city standards as demonstrated in the Final Development Plan.
11. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:
  - a. Permit a single one-year extension for submittal of the required Final Development Plan;
  - b. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
  - c. Rezone the property to a more appropriate zoning classification.
12. Unless otherwise addressed within the PUD development standards, the R-3 zoning standards will apply to the Townhomes and R-2 zoning standards to the single family lots. No residential duplex units are allowed.

**COMPREHENSIVE PLAN COMPLIANCE:** The existing and proposed use of the property is consistent with the Residential Low Future Land Use designation and is not consistent with the Land Development Code subject to the recommended DRC development conditions.

**SCHOOL CAPACITY REPORT:** A capacity enhancement agreement and/or school mitigation agreement with OCPS or a letter exempting the project from school capacity enhancement is required prior to submittal of a final development plan.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on May 19, 2017.

**PUBLIC HEARING SCHEDULE:**

August 8, 2017 - Planning Commission (5:30 pm)  
September 6, 2017 - City Council (1:30 pm) - 1st Reading  
September 20, 2017 – City Council (7:00 pm) - 2nd Reading

**DULY ADVERTISED:**

July 21, 2017 – Public Notice and Notification  
September 8, 2017 – ¼ Page w/Map Ordinance Heading Ad

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**RECOMMENDED ACTION:**

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and Land Development Code and recommends approval of the Oak Pointe Planned Unit Development Master Plan and Preliminary Development Plan subject to the DRC Conditions of Approval.

**Recommended Motion:** Recommend to approve Planned Unit Development Zoning and the Master Plan and Preliminary Development Plan based on the Conditions of Approval and findings and facts presented in the staff report.

**Note:** This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

**ZONING REPORT**

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Rural (0-1 du/10 ac)	A-1	Northwest Water Reclamation Facility
East (City)	Residential Low (0-5 du/ac)	R-2	Apopka Woods subdivision
South (City)	Commercial (max 0.25 FAR)	C-1	Vacant commercial\McCormick Rd
West (City & County)	“City” Mixed Use & “County” Rural (0-1 du/10 ac)	Mixed-EC & A-1	SR 429 ROW & Retention Pond

**LAND USE &**

**TRAFFIC COMPATIBILITY:**

The property has access to a Major Arterial roadway (McCormick Road) and future access to Ocoee Apopka Road to the north. A proposed internal spine road (Irmalee Lane, currently a gated public road) will be a private gated road and provide connectivity to both Ocoee Apopka to the north and McCormick Road to the south for future residents of Oak Pointe. Future land use designations and zoning categories assigned to properties to the north, south, east, and west are predominantly residential and rural.

**COMPREHENSIVE  
 PLAN COMPLIANCE:**

The proposed PUD zoning is compatible with policies set forth in the Comprehensive Plan.

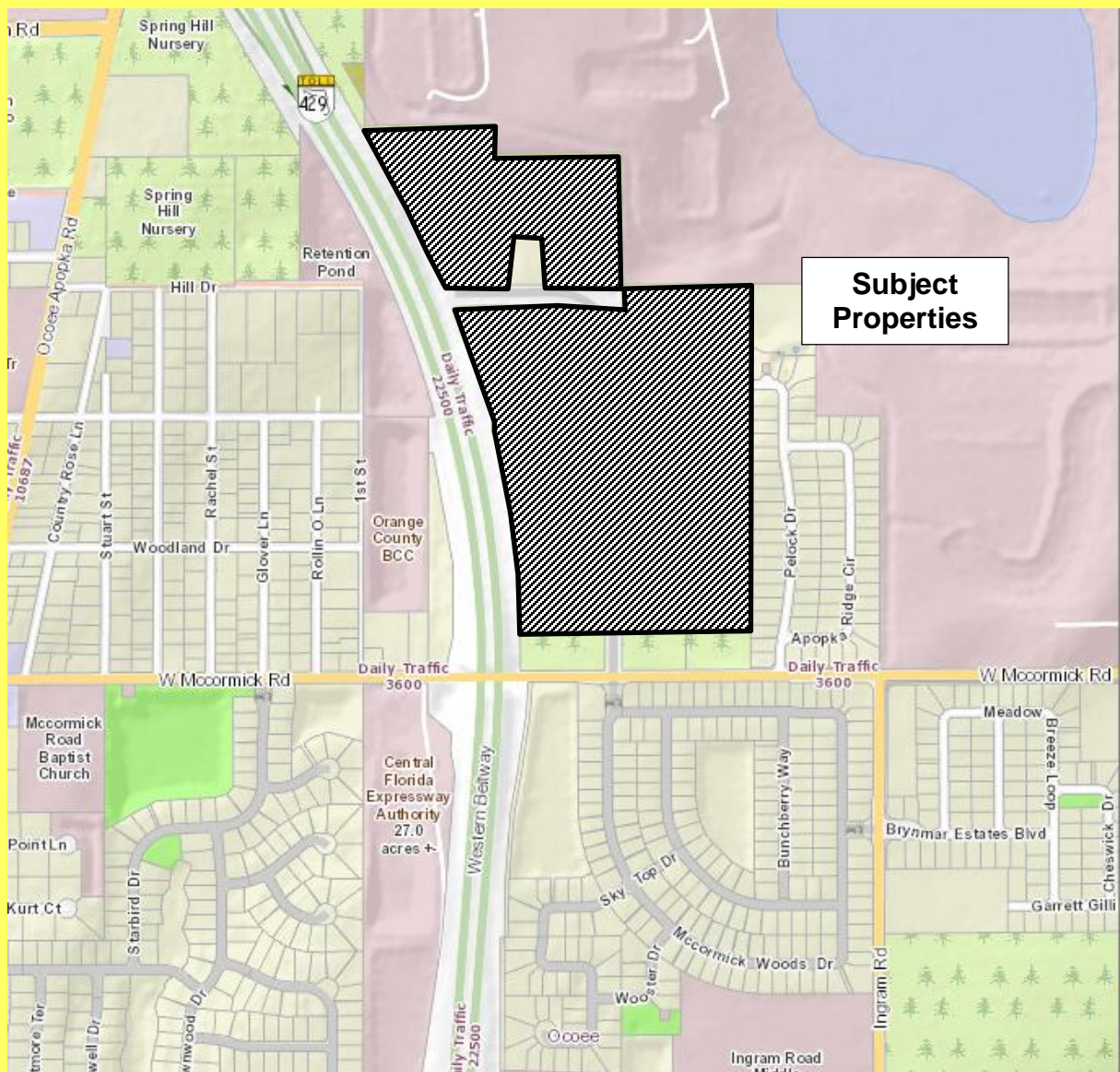
**ALLOWABLE  
 USES:**

Single-family and townhome residential uses as set forth within the Planned Unit Development Master Plan.



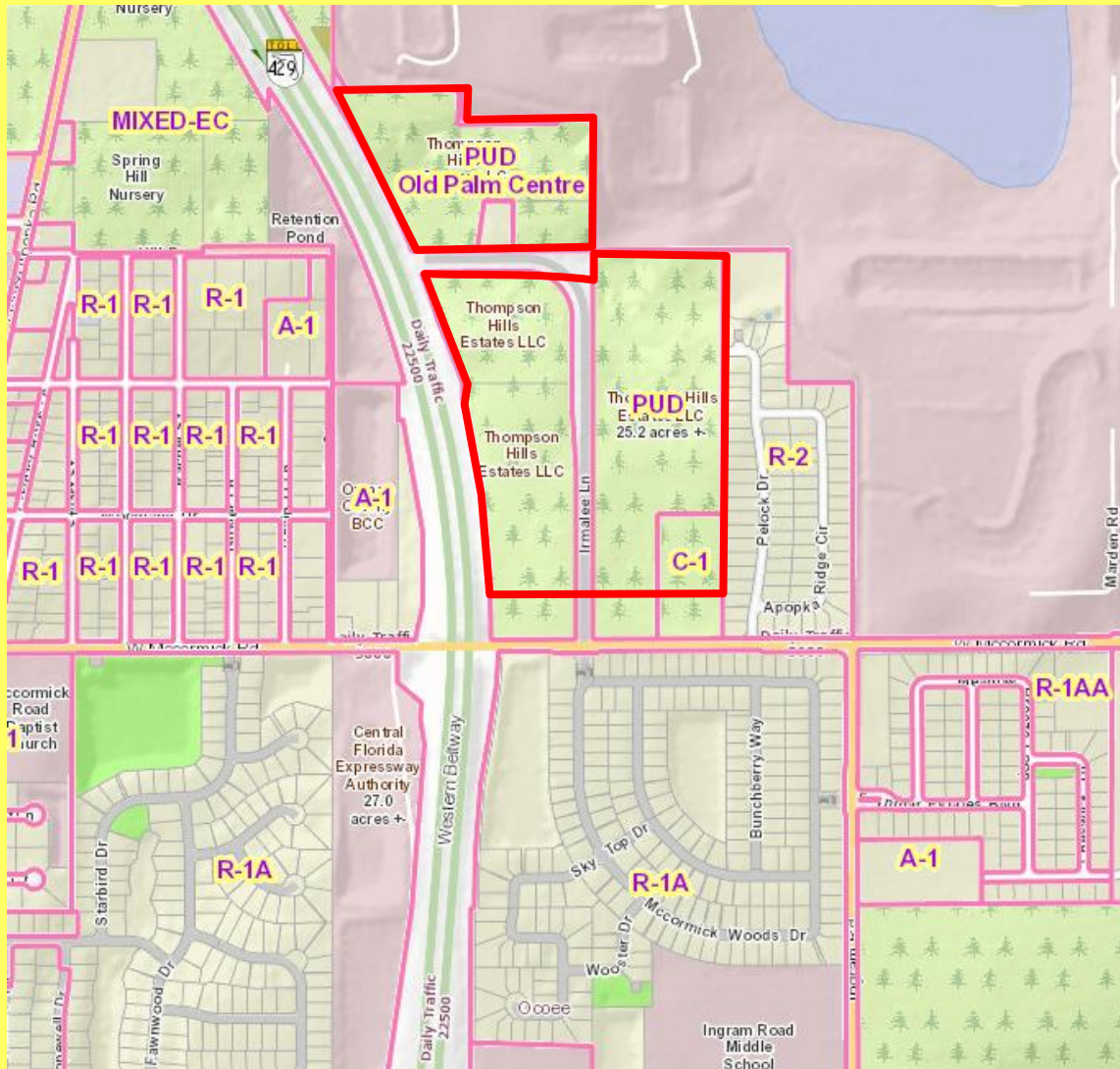
**Thompson Hills Estates LLC (Oak Pointe PUD)**  
**67.7 +/- Acres**  
**Proposed Change of Zoning:**  
**From: Planned Unit Development (PUD Residential)**  
**To: Planned Unit Development (New Master Site Plan)**  
**Parcel ID #(s): 29-21-28-0000-00-011; 29-21-28-0000-00-016; 29-21-28-0000-00-033; &**  
**(Portions of): 29-21-28-0000-00-038; 32-21-28-0000-00-004 & 32-21-28-0000-00-030**

**VICINITY MAP**



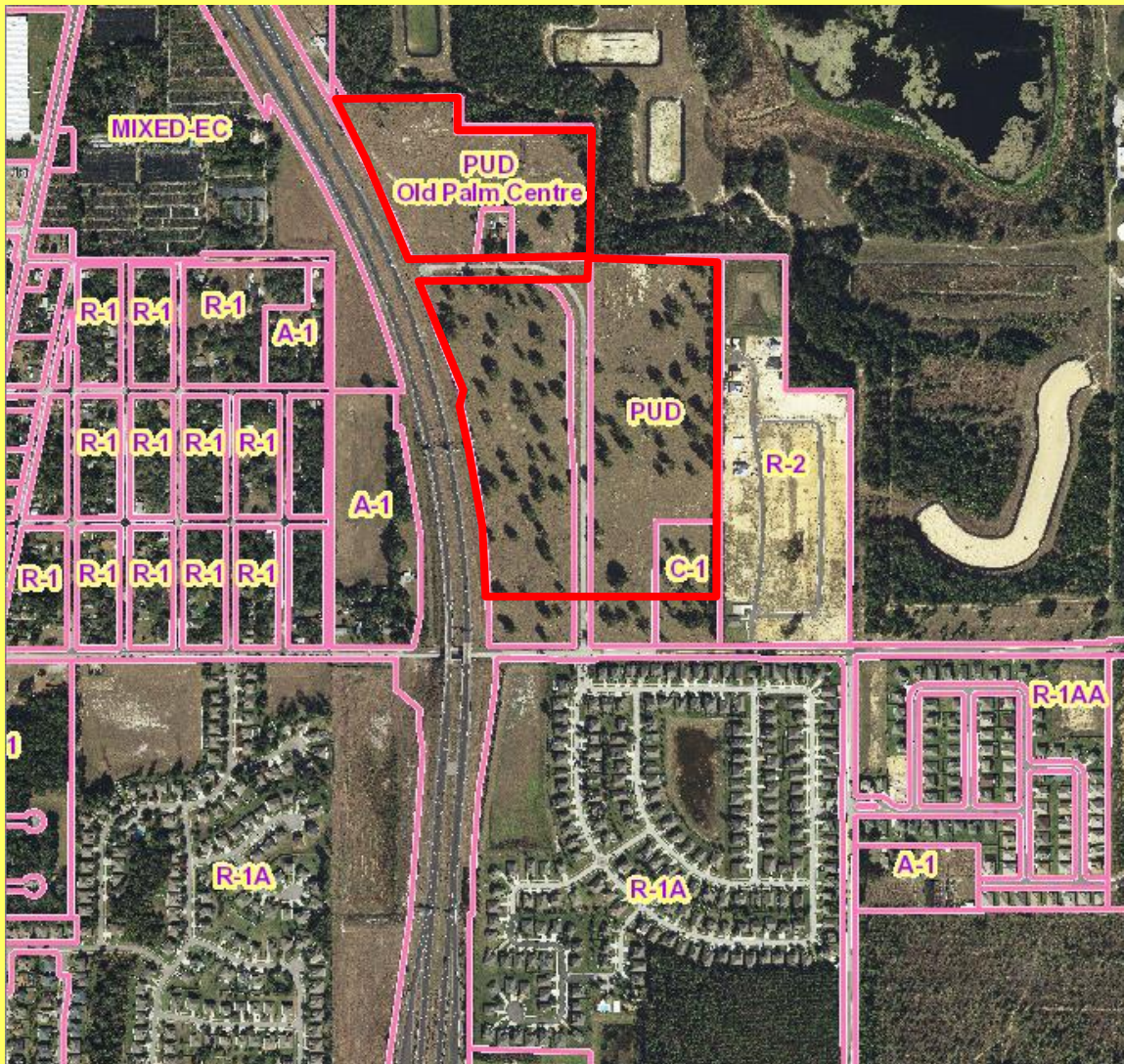


## ADJACENT ZONING



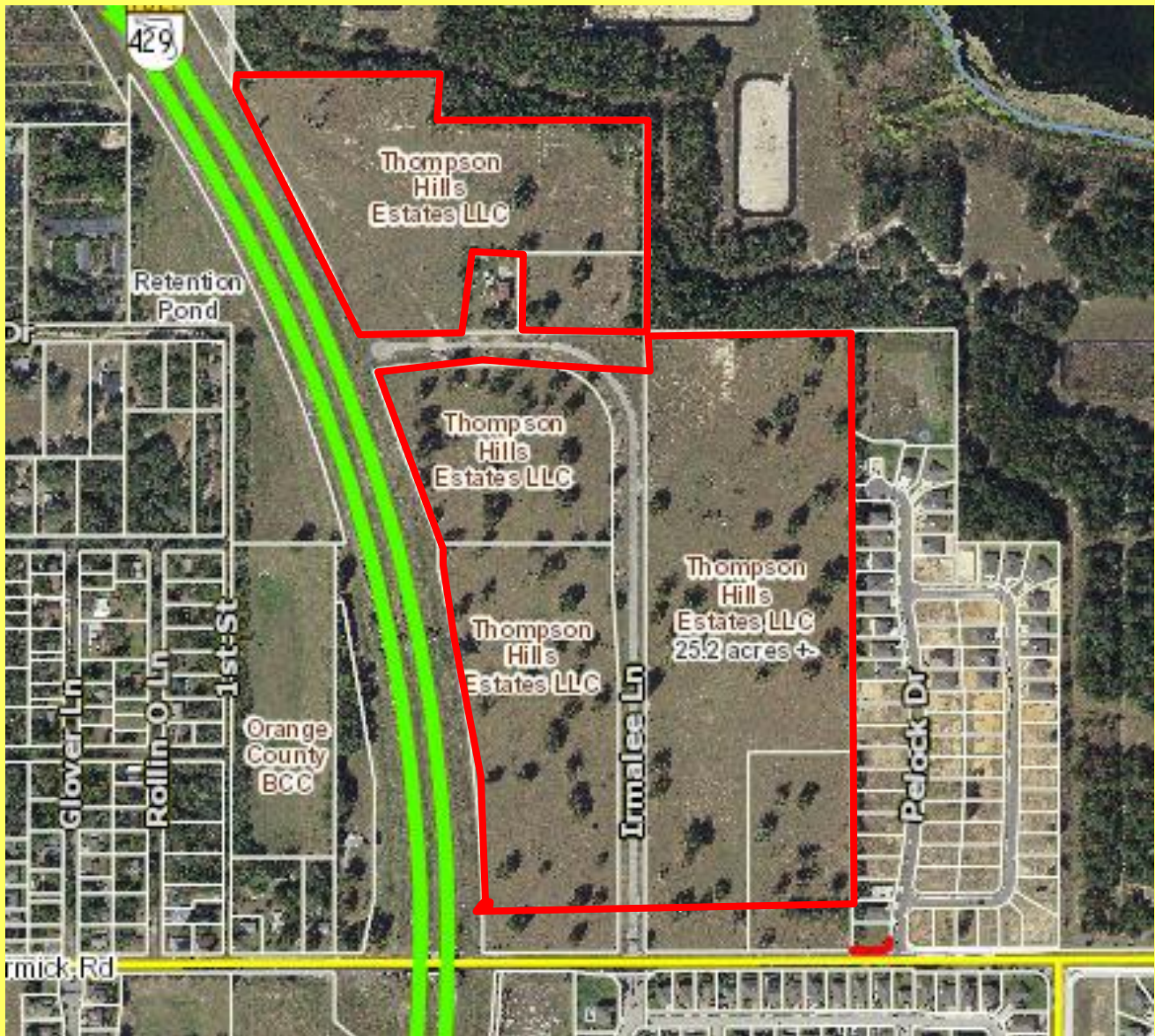


## ADJACENT USES





## EXISTING USES





# OAK POINTE

(f.k.a.) THOMPSON HILLS ESTATES

## CITY OF APOPKA, FLORIDA PUD/ MASTER PLAN

### MASTER & PRELIMINARY DEVELOPMENT PLANS

PARCEL ID. NUMBERS:

29-21-28-0000-00-011, 29-21-28-0000-00-016, 29-21-28-0000-00-033  
AND PORTIONS OF  
29-21-28-0000-00-038, 32-21-28-0000-00-004, 32-21-28-0000-00-030

JULY 24, 2017

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1.0	COVER SHEET
2.0	DEVELOPMENT DESIGN STANDARDS
2.1	GENERAL DETAILS AND SECTIONS
3.0	EXISTING CONDITIONS
4.0	MASTER SITE PLAN
5.1-5.4	PRELIMINARY DEVELOPMENT PLAN
6.0	MASTER SIGNAGE PLAN
7.0	FENCING PLAN
8.0	FIRE ACCESS PLAN
9.0	PARKING ANALYSIS
S1	BOUNDARY SURVEY
L1-L4	TREE REMOVAL PLAN
L5-L6	MASTER LANDSCAPE PLANS
L7-L9	COMMUNITY LANDSCAPE PLANS
L10	ENTRANCE LANDSCAPE PLAN
L11	POOL AND CABANA LANDSCAPE PLAN
L12	TOWNHOMES LIFT STATION & PARK LANDSCAPE PLANS
A1-A3	ARCHITECTURAL ELEVATIONS

#### UTILITY COMPANIES

**WATER**  
ORANGE COUNTY UTILITIES  
9150 CURRY FORD RD. 2ND FLOOR  
ORLANDO, FLORIDA 32825

**WASTEWATER**  
ORANGE COUNTY UTILITIES  
9150 CURRY FORD RD. 2ND FLOOR  
ORLANDO, FLORIDA 32825

**RECLAIMED WATER**  
ORANGE COUNTY UTILITIES  
9150 CURRY FORD RD. 2ND FLOOR  
ORLANDO, FLORIDA 32825

**STORMWATER**  
ST. JOHN'S RIVER WATER  
MANAGEMENT DISTRICT  
601 SOUTH LAKE DESTINY RD.,  
SUITE 200  
MAITLAND, FL 32751

**GAS**  
LAKE APOPKA NATURAL GAS  
1320 S. VINELAND ROAD  
WINTER GARDEN, FLORIDA 34777  
(407)556-2734

**ELECTRIC**  
DUKE ENERGY  
P.O. BOX 14042  
ST. PETERSBURG, FLORIDA 33733  
(407)629-1010

**PHONE**  
BRIGHTHOUSE NETWORKS,  
CENTURY LINK  
3767 ALL AMERICAN BLVD.  
ORLANDO, FLORIDA 32810  
(407)291-2500

**CABLE**  
BRIGHTHOUSE NETWORKS,  
CENTURY LINK  
3767 ALL AMERICAN BLVD.  
ORLANDO, FLORIDA 32810  
(407)291-2500

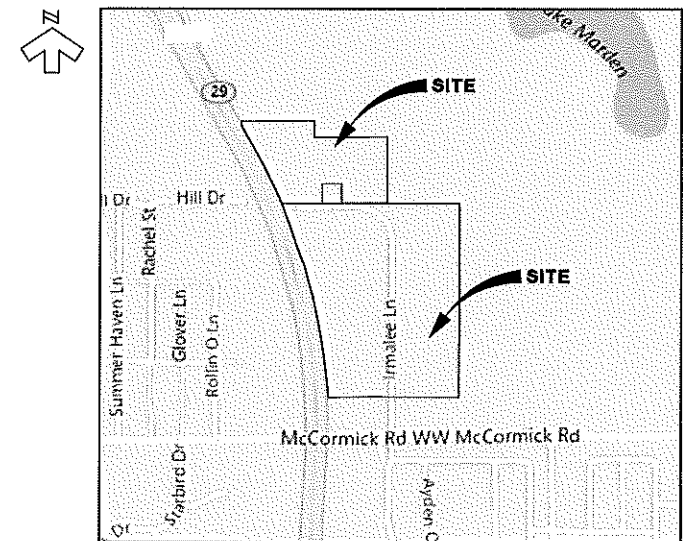
**APPLICANT / OWNER**  
THOMPSON HILLS ESTATES, LLC  
207 ISLAND DRIVE  
JUPITER, FLORIDA 33477  
PHONE: (561)746-8848  
CONTACT: MALCOLM JONES

**ENGINEER**  
EVANS ENGINEERING, INC.  
719 IRMA AVENUE  
ORLANDO, FLORIDA 32803  
PHONE: (407)872-1515  
CONTACT: DAVID EVANS, P.E.

**SURVEYOR**  
ROGER A. HAGLER, P.L.S.M.  
PROFESSIONAL LAND SURVEYORS, MAPPERS  
585 ORANGE AVE.  
SEBASTIAN, FLORIDA 32958  
PHONE: (772)205-1231  
CONTACT: ROGER A. HAGLER, P.L.S.M.

**GEOTECHNICAL ENGINEER**  
ARDAMAN & ASSOCIATES  
8008 SOUTH ORANGE AVENUE  
ORLANDO, FLORIDA 32809  
PHONE: (407)855-3860  
CONTACT: CHUCK CUNNINGHAM

**STATEMENT OF INTENDED USE:**  
THE DEVELOPMENT OF A 224 LOT SINGLE FAMILY SUBDIVISION  
**PROJECT ADDRESS:**  
1527 W. MCCORMICK ROAD  
APOPKA, FLORIDA 32703



VICINITY MAP  
N.T.S.

#### LEGAL DESCRIPTION

**TRACT 1**  
A PARCEL OF LAND SITUATE IN SECTIONS 29 AND 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTH 1/4 CORNER OF SAID SECTION 29, SAID POINT ALSO BEING ON THE EASTERN RIGHT-OF-WAY LINE OF IRMALEE LANE AS SHOWN ON ANCEPA RIGHT-OF-WAY MAP, PROJECT NO. 75246-00-001, THENCE RUN ALONG SAID RIGHT-OF-WAY LINE AND THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, NORTH 60° 00' 00" WEST, A DISTANCE OF 65.0 FEET TO THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, THENCE RUN NORTH 89° 20' 00" EAST ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, A DISTANCE OF 62.0 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, THENCE RUN SOUTH 89° 20' 00" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 152.0 FEET TO A POINT OF INTERSECTION WITH THE EASTERN LIMITED ACCESS RIGHT-OF-WAY LINE OF STATE ROAD 43, AS SHOWN ON THE ORANGE COUNTY EXPRESSWAY AUTHORITY RIGHT-OF-WAY MAP, PROJECT NO. 235-00-00-001, THENCE ALONG SAID EASTERN LIMITED ACCESS RIGHT-OF-WAY LINE FOR THE FOLLOWING CURVE: FIRST SOUTH 10° 00' 00" WEST, A DISTANCE OF 111.79 FEET, THENCE SOUTH 89° 20' 00" EAST, A DISTANCE OF 300.93 FEET, THENCE SOUTH 89° 20' 00" WEST, A DISTANCE OF 87.00 FEET TO A POINT OF INTERSECTION WITH A LINE LYING 30 FEET NORTH OF AND PARALLEL WITH THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 29, SAID LINE ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF WEST MCCORMICK ROAD AS SHOWN ON ADEQUATE, THENCE RUN SOUTH 89° 20' 00" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 152.0 FEET TO A POINT OF INTERSECTION WITH THE EASTERN LIMITED ACCESS RIGHT-OF-WAY LINE OF STATE ROAD 43, AS SHOWN ON THE ORANGE COUNTY EXPRESSWAY AUTHORITY RIGHT-OF-WAY MAP, PROJECT NO. 235-00-00-001, THENCE ALONG SAID EASTERN LIMITED ACCESS RIGHT-OF-WAY LINE FOR THE FOLLOWING CURVE: FIRST SOUTH 10° 00' 00" WEST, A DISTANCE OF 111.79 FEET, THENCE SOUTH 89° 20' 00" EAST, A DISTANCE OF 300.93 FEET, THENCE SOUTH 89° 20' 00" WEST, A DISTANCE OF 87.00 FEET TO A POINT OF INTERSECTION WITH A LINE LYING 30 FEET NORTH OF AND PARALLEL WITH THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 29, THENCE DEPARTING FROM SAID LIMITED ACCESS RIGHT-OF-WAY LINE AND ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, NORTH 60° 00' 00" EAST, A DISTANCE OF 65.0 FEET TO A POINT OF INTERSECTION WITH A LINE LYING 30 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE WEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, THENCE RUN NORTH 89° 20' 00" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 65.0 FEET TO THE EAST LINE OF SAID WEST 1/4, THENCE RUN SOUTH 89° 20' 00" WEST ALONG SAID PARALLEL LINE, A DISTANCE OF 152.0 FEET TO THE SOUTH LINE OF THE EAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 29, THENCE RUN NORTH 89° 20' 00" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 65.0 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 32, THENCE RUN NORTH 89° 20' 00" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 65.0 FEET TO THE POINT OF BEGINNING.

**TRACT 2**  
A PARCEL OF LAND SITUATE IN SECTIONS 29 AND 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTH 1/4 CORNER OF SAID SECTION 29, SAID POINT ALSO BEING ON THE EASTERN RIGHT-OF-WAY LINE OF IRMALEE LANE AS SHOWN ON ANCEPA RIGHT-OF-WAY MAP, PROJECT NO. 75246-00-001, THENCE RUN SOUTH 89° 20' 00" WEST, A DISTANCE OF 152.0 FEET TO A POINT ON THE WESTERN RIGHT-OF-WAY LINE OF SAID IRMALEE LANE AND THE POINT OF BEGINNING OF THE PARCEL INTENDING TO BE DESCRIBED, THENCE FROM SAID POINT OF BEGINNING ALSO SAID WESTERN RIGHT-OF-WAY LINE FOR THE FOLLOWING CURVE: FIRST SOUTH 10° 00' 00" WEST, A DISTANCE OF 111.79 FEET, THENCE SOUTH 89° 20' 00" EAST, A DISTANCE OF 300.93 FEET, THENCE SOUTH 89° 20' 00" WEST, A DISTANCE OF 87.00 FEET TO A POINT OF INTERSECTION WITH A LINE LYING 30 FEET NORTH OF AND PARALLEL WITH THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 29, SAID LINE ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF WEST MCCORMICK ROAD AS SHOWN ON ADEQUATE, THENCE RUN SOUTH 89° 20' 00" WEST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 152.0 FEET TO A POINT OF INTERSECTION WITH THE EASTERN LIMITED ACCESS RIGHT-OF-WAY LINE OF STATE ROAD 43, AS SHOWN ON THE ORANGE COUNTY EXPRESSWAY AUTHORITY RIGHT-OF-WAY MAP, PROJECT NO. 235-00-00-001, THENCE ALONG SAID EASTERN LIMITED ACCESS RIGHT-OF-WAY LINE FOR THE FOLLOWING CURVE: FIRST SOUTH 10° 00' 00" WEST, A DISTANCE OF 111.79 FEET, THENCE SOUTH 89° 20' 00" EAST, A DISTANCE OF 300.93 FEET, THENCE SOUTH 89° 20' 00" WEST, A DISTANCE OF 87.00 FEET TO A POINT OF INTERSECTION WITH A LINE LYING 30 FEET NORTH OF AND PARALLEL WITH THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 29, THENCE DEPARTING FROM SAID LIMITED ACCESS RIGHT-OF-WAY LINE AND ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, NORTH 60° 00' 00" EAST, A DISTANCE OF 65.0 FEET TO A POINT OF INTERSECTION WITH A LINE LYING 30 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE WEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, THENCE RUN NORTH 89° 20' 00" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 65.0 FEET TO THE EAST LINE OF SAID WEST 1/4, THENCE RUN SOUTH 89° 20' 00" WEST ALONG SAID PARALLEL LINE, A DISTANCE OF 152.0 FEET TO THE SOUTH LINE OF THE EAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 29, THENCE RUN NORTH 89° 20' 00" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 65.0 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 32, THENCE RUN NORTH 89° 20' 00" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 65.0 FEET TO THE POINT OF BEGINNING.

**TRACT 3**  
A PARCEL OF LAND SITUATE IN SECTIONS 29 AND 32, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, SAID POINT OF BEGINNING ALSO BEING AT THE NORTHEAST CORNER OF THE RIGHT-OF-WAY FOR IRMALEE LANE AS SHOWN ON ANCEPA RIGHT-OF-WAY MAP, PROJECT NO. 75246-00-001, THENCE RUN SOUTH 89° 20' 00" WEST, A DISTANCE OF 65.0 FEET TO THE SOUTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, THENCE RUN NORTH 89° 20' 00" EAST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 152.0 FEET TO A POINT OF INTERSECTION WITH THE EASTERN LIMITED ACCESS RIGHT-OF-WAY LINE OF STATE ROAD 43, AS SHOWN ON THE ORANGE COUNTY EXPRESSWAY AUTHORITY RIGHT-OF-WAY MAP, PROJECT NO. 235-00-00-001, SAID POINT OF INTERSECTION WITH THE EASTERN LIMITED ACCESS RIGHT-OF-WAY LINE OF STATE ROAD 43, AS SHOWN ON THE ORANGE COUNTY EXPRESSWAY AUTHORITY RIGHT-OF-WAY MAP, PROJECT NO. 235-00-00-001, SAID POINT BEING A POINT ON A CONVEX CURVE, CONVEX TO THE SOUTHWEST, HAVING A RADIUS OF 340.0 FEET, A CHORD OF 100.0 FEET, AND FROM THE POINT OF INTERSECTION WITH A LINE LYING 30 FEET NORTH OF AND PARALLEL WITH THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 29, THENCE DEPARTING FROM SAID LIMITED ACCESS RIGHT-OF-WAY LINE AND ALONG THE EAST LINE OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, NORTH 60° 00' 00" EAST, A DISTANCE OF 65.0 FEET TO A POINT OF INTERSECTION WITH A LINE LYING 30 FEET NORTH OF AND PARALLEL WITH THE SOUTH LINE OF THE WEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, THENCE RUN NORTH 89° 20' 00" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 65.0 FEET TO THE EAST LINE OF SAID WEST 1/4, THENCE RUN SOUTH 89° 20' 00" WEST ALONG SAID PARALLEL LINE, A DISTANCE OF 152.0 FEET TO THE SOUTH LINE OF THE EAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 29, THENCE RUN NORTH 89° 20' 00" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 65.0 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 32, THENCE RUN NORTH 89° 20' 00" EAST ALONG SAID PARALLEL LINE, A DISTANCE OF 65.0 FEET TO THE POINT OF BEGINNING.

#### PLAN PROVIDED FOR:

- PRELIMINARY PLAN
- BID SET
- PERMIT REVIEW SET
- CONSTRUCTION SET
- RECORD DRAWING

\* THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION UNLESS APPROVED FOR CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS HAVE BEEN OBTAINED PRIOR TO STARTING CONSTRUCTION.

**EVANS ENGINEERING, INC.**  
CIVIL ENGINEERING LAND PLANNING PERMITTING SERVICES  
719 IRMA AVENUE  
ORLANDO, FLORIDA 32803  
(407) 872-1515  
www.evansenginc.com  
CERTIFICATE OF AUTHORIZATION NO. 00005788

**NOTE:**  
ALL RESIDENTIAL ARCHITECTURAL APPEARANCE SHALL BE IN ACCORDANCE WITH THE APOPKA DEVELOPMENT DESIGN GUIDELINES, OR ALTERNATIVE DEVELOPMENT DESIGN STANDARDS, SUBJECT TO APPROVAL BY THE COMMUNITY DEVELOPMENT DEPARTMENT.

**sunshine state ONE CALL**  
Know what's below. Call before you dig. **811**  
CALL THE SUNSHINE STATE ONE CALL  
811 OR 1-800-432-4770  
48 HOURS BEFORE DIGGING FOR THE LOCATION OF UNDERGROUND UTILITIES.

Design Standards

Lot Criteria

Setback Table	Single Family	Townhomes
Front Porch(1)	19'	N/A
Front (Garage)	30'	22'
Front (Building)	25'	22'
Rear	20'	15'
Side	7.5'	10' Ext. 0' Int.
Side Street(2)	15'	15'
Accessory Structure Rear	5'	N/A
Lot Dimensions		
Minimum Lot Area	7,800 SF (0.179 AC)	2,530 SF
Minimum Lot Width	70' *	23'
Minimum Lot Depth	120'	110'
Max lot coverage	75%	75%
Max Building Height	35' / 2 stories	35' / 2 stories
Minimum Living Area	1,500 SF	1,350 SF

\*MINIMUM LOT WIDTH NOTE:

THE FOLLOWING LOTS OF A MINIMUM LOT WIDTH OF 65': 9, 13, 17, 21, 69, 73, 77, 79

	Count	Percentage
65' Width Lots	8	6.8%
70' Width Lots	110	93.2%
Total Lots	118	100.0%

**SINGLE- FAMILY LOT DATA:**

Lot Number	Lot Width* (ft.)	Lot Area (ac.)	Lot Number	Lot Width* (ft.)	Lot Area (ac.)	Lot Number	Lot Width* (ft.)	Lot Area (ac.)
1	70.0	0.193	41	70.0	0.223	81	70.0	0.193
2	70.0	0.193	42	70.0	0.223	82	70.0	0.193
3	70.0	0.193	43	70.0	0.223	83	110.1	0.346
4	70.0	0.193	44	77.5	0.243	84	70.0	0.222
5	70.0	0.192	45	70.0	0.226	85	70.0	0.222
6	76.3	0.288	46	70.0	0.226	86	70.0	0.222
7	70.6	0.401	47	70.0	0.226	87	70.0	0.222
8	71.0	0.440	48	77.9	0.250	88	85.9	0.305
9	65.0	0.251	49	79.7	0.255	89	105.1	0.331
10	70.0	0.228	50	70.0	0.226	90	70.0	0.223
11	70.0	0.195	51	70.0	0.226	91	70.0	0.223
12	70.7	0.213	52	70.0	0.226	92	70.0	0.223
13	66.3	0.181	53	70.0	0.193	93	70.0	0.223
14	71.4	0.194	54	70.0	0.193	94	110.1	0.346
15	71.4	0.194	55	70.0	0.193	95	110.2	0.348
16	71.4	0.194	56	70.0	0.193	96	70.0	0.223
17	66.3	0.181	57	70.0	0.193	97	70.0	0.223
18	71.4	0.194	58	70.0	0.193	98	70.0	0.223
19	71.4	0.194	59	70.0	0.194	99	70.0	0.223
20	71.4	0.194	60	70.0	0.207	100	105.0	0.331
21	66.5	0.181	61	70.0	0.223	101	105.0	0.331
22	70.5	0.233	62	92.4	0.298	102	70.0	0.223
23	71.1	0.291	63	70.0	0.193	103	70.0	0.223
24	71.2	0.248	64	70.0	0.193	104	70.0	0.223
25	70.0	0.193	65	70.0	0.193	105	70.0	0.223
26	70.0	0.193	66	70.0	0.193	106	110.3	0.348
27	70.0	0.193	67	70.0	0.193	107	110.3	0.346
28	77.5	0.243	68	70.0	0.193	108	70.0	0.222
29	70.0	0.222	69	65.0	0.179	109	70.0	0.222
30	70.0	0.222	70	70.0	0.193	110	70.0	0.222
31	82.6	0.275	71	70.0	0.193	111	70.0	0.222
32	110.7	0.328	72	70.0	0.193	112	105.3	0.331
33	70.0	0.222	73	65.0	0.184	113	105.4	0.332
34	70.0	0.222	74	70.7	0.238	114	70.0	0.222
35	77.5	0.243	75	70.3	0.380	115	70.0	0.223
36	77.5	0.243	76	70.3	0.299	116	70.0	0.223
37	70.0	0.223	77	65.3	0.205	117	70.0	0.223
38	70.0	0.223	78	70.0	0.193	118	110.4	0.348
39	70.0	0.223	79	65.0	0.179			
40	99.4	0.284	80	70.0	0.193			

\*LOT WIDTH MEASURE AT BUILDING SETBACK

**SITE DATA:**

TOTAL AREA	69.38 AC
PHASES:	1
SINGLE FAMILY UNITS	118
TOWNHOME UNITS	106
TOTAL UNITS	224

DENSITY (TOTAL UNITS / TOTAL AREA):  
224 (UNITS) / 69.38 AC = 3.3 U/AC

RECREATIONAL AREA:	
REQUIRED ( 3.6 AC / 1000 PERSONS):	
1 UNIT = 2.6 PERSONS	224 (UNITS) x 2.6 = 582.4 PERSONS
582.4 x (3.6/1000)	= 2.10 AC
PROVIDED	
TRACT N-1	= 0.80 AC
TRACT K-6	= 2.03 AC
TOTAL	= 2.83 AC

**OPEN SPACE CALCULATIONS:**

REQUIRED:	
SINGLE FAMILY:	
TOTAL AREA	49.69 AC
REQUIRED %	20 %
REQUIRED AREA	9.94 AC
TOWNHOUSES:	
TOTAL AREA	19.69 AC
REQUIRED %	30 %
REQUIRED AREA	5.91 AC
TOTAL REQ'D OPEN SPACE AREA	15.85 AC

PROVIDED:	
SINGLE FAMILY:	
BUFFER YARDS (TRACTS J)	0.58 AC
OPEN SPACE (TRACTS K)	5.79 AC
RETENTION (TRACTS L)	4.97 AC*
RECREATION (TRACTS N)	0.80 AC
SINGLE FAMILY TOTAL	12.11 AC
TOWNHOUSE:	
BUFFER YARDS (TRACTS J)	0.29 AC
OPEN SPACE (TRACTS K)	4.33 AC
RETENTION (TRACTS L)	2.35 AC
TOWNHOUSE TOTAL	6.97 AC
TOTAL OPEN SPACE PROVIDED	19.08 AC

\*50% OF TOTAL REQUIRED SINGLE FAMILY OPEN SPACE AREA

Notes:

1. Front Porch Setbacks as allowed per City of Apopka Development Design Guidelines Ord. 2502, July 2016.
2. Side Street setback requires no lot frontages on Street I and that the side street setback will not be in front of any front setback of any adjacent lot.

Architectural, Buildings and Architectural Standards

1. Architectural Design shall meet the intent of the City of Apopka Design Development Guidelines Ord. 2502, July 2016.
2. Single family detached homes will have two car enclosed garages.
3. Townhomes will have a combination of single and two car garages as depicted on the parking plan.
4. Mail delivery for SF and Townhomes will be in a Kiosk as located at each amenity area and shown on the Development Plan.

Utilities and Infrastructure

1. Water, sanitary sewer and reclaimed services will be provided by Orange County Utilities.
2. Storm water management system shall be designed to comply with the requirements of the City of Apopka and SJRWMD.
3. All internal streets and Street 'I' in its entirety from McCormick Road to its northern terminus will be owned and maintained by the HOA, included the landscape medians.
4. Street I north of the public portion will be owned and maintained by the HOA.
5. Fire protection and a stabilized access road will be provided prior to vertical building construction.
6. Five foot concrete sidewalks will be provided on all internal streets per the Engineering Standards manual.
7. Electric power will be provided underground. No overhead power service will be permitted with this development.
8. Vehicular, pedestrian and accent lighting shall substantially conform to section 3.10 of the City of Apopka Development Design Guidelines.
9. A lighting plan must be submitted with the Final Development Plan.
10. Street Names will be provided at the time of the Final Development Plan.

Recreation and Open Space

1. Required project open space shall be a minimum of 20% for the Single Family portion and 30% for the townhome portion per the City of Apopka PUD LDC 2.02.18 D. 19. B.
2. Project Recreational Area shall be provided at a rate of 3.6 acres per thousand population with 2.6 persons per dwelling unit.
3. The recreational tract located in the Single Family area of the project will include a pavilion and swimming pool. This tract will be easily accessible by the single family and townhomes within the development.
4. The recreational tract located in the townhome area of the project will include large play fields, benches, a dog park and walking trails. This recreational tract will be easily accessible by the townhomes and single family homes.
5. All proposed amenity areas will be shared by the entire residential development.
6. The required amenity areas will be completed and open for use by the issuance of the 50th Certificate of Occupancy for all residential units.
7. All recreation and open space areas will be owned and maintained by the HOA.

Buffers and Landscaping

1. A 10' buffer will be provided along SR 429 as shown on the landscape plans and consist of a 6' precast stone wall and landscaping.
2. A 10' buffer will be provided along the southern boundary of the single family residential and will include a 6' precast stone wall and landscaping.
3. A 6' tan vinyl fence will be placed at the north and east property boundary. A 6' tan vinyl fence exists on the west boundary of the Apopka Woods development. The fence proposed on this property will only be installed where there are areas not fenced on the eastern property line. A fencing plan is included in this development proposal.
4. Each single family residential lot will include two newly planted trees. The trees planted in the front yards will also serve as the street trees.

Wetlands and Environmental

1. There are no wetlands on the proposed site area.
2. There is no 100 year flood plain on the proposed site area.
3. An erosion protection plan will be submitted during the final development plan process.
4. Tree removal and replacement and landscaping will comply with Article V of the City of Apopka Land Development Code.
5. Individual Lot Arbor / Clearing permit is required prior to clearing or grading of any lots.

Miscellaneous

1. Any existing septic tanks or wells shall be properly abandoned prior to earthwork or construction permits.
2. All acreages are subject to change with the Final Engineering and Final plat review and approval.
3. The existing home within the townhome development area will maintain access rights through the proposed private access road.
4. Final location of the covered mail kiosk within the townhome community shall be determined at the Final Development Plan. A letter of approval from the Postmaster shall be submitted prior to Final Development Plan approval. The mail kiosk shall have a similar architectural appearances as the townhome buildings.

DATE	REVISIONS	BY
4-20-17	REV PER DRC COMMENTS	TW/MWK
6-26-17	REV PER DRC COMMENTS	M/MWK

EVANS ENGINEERING, INC.  
CERTIFICATE OF AUTHORIZATION NO. 6788  
719 IRMA AVENUE  
ORLANDO, FLORIDA 32803  
DATE: JUL 26, 2017

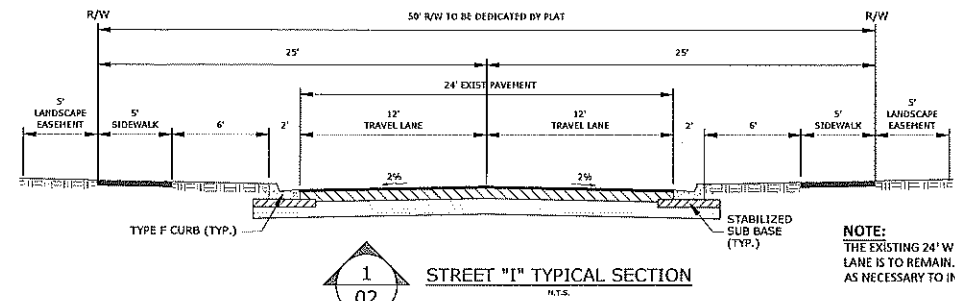
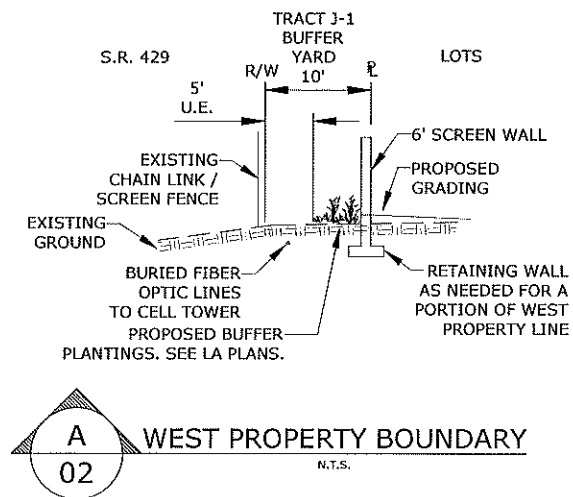
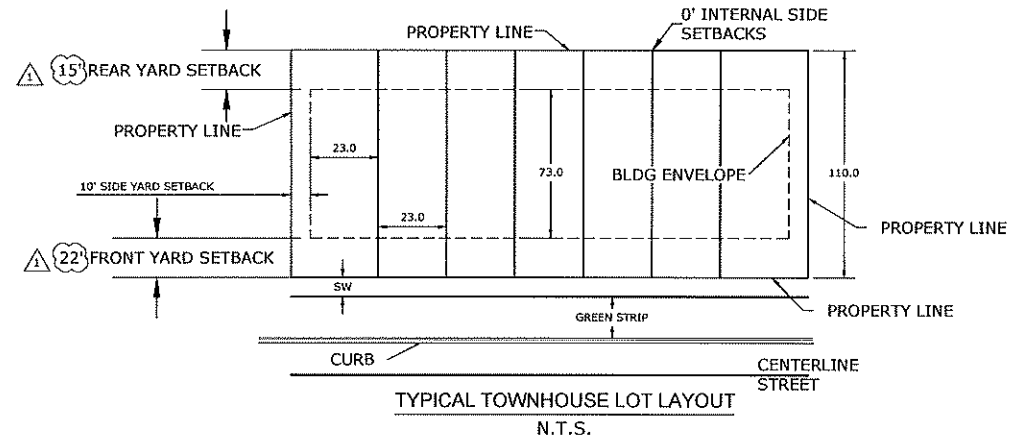
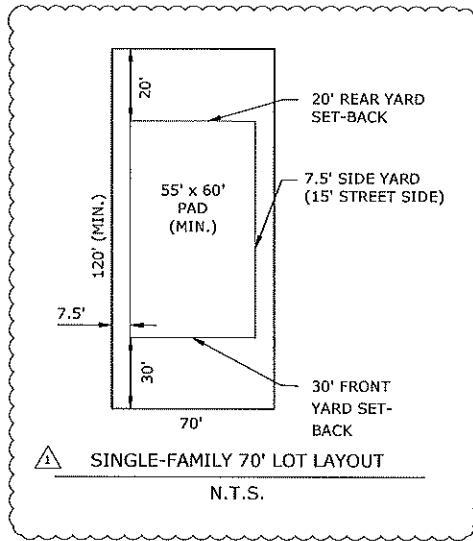
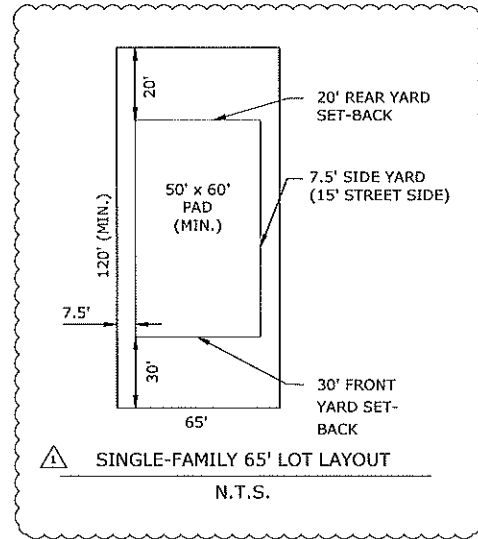
EVANS ENGINEERING, INC.  
LAND PLANNING PERMITTING SERVICES  
719 IRMA AVENUE  
ORLANDO, FLORIDA 32803  
(407) 872-1515  
WWW.EVANSENGINEERING.COM  
CERTIFICATE OF AUTHORIZATION NO. 00005758

OAK POINTE  
FOR  
THOMPSON HILLS ESTATES LLC  
FLORIDA  
CITY OF APOPKA.

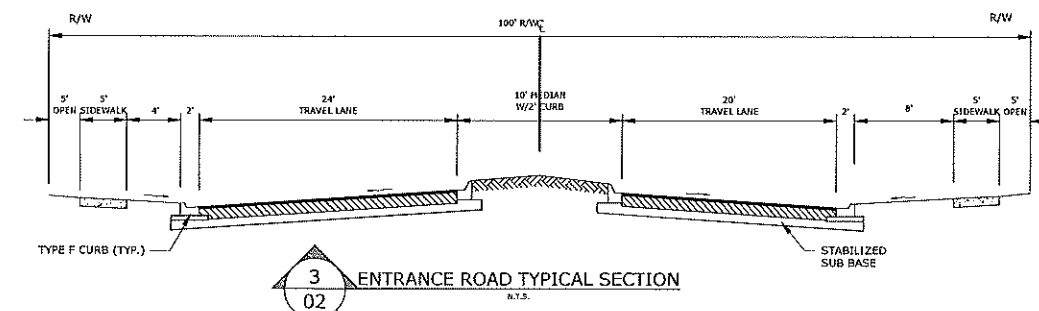
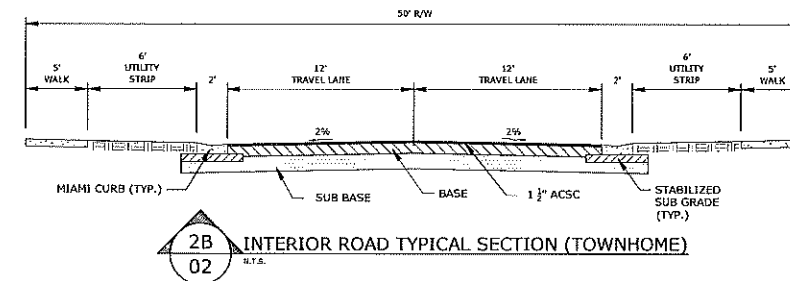
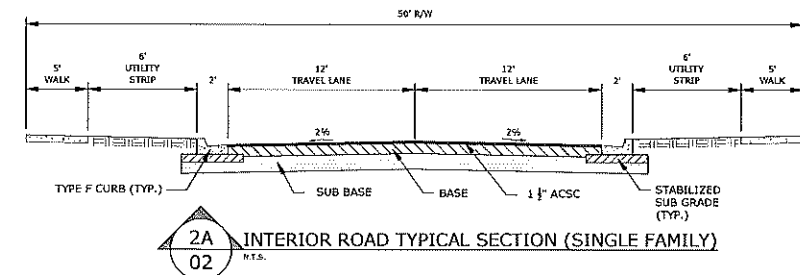
DEVELOPMENT  
DESIGN STANDARDS

DRAWN:  
TWV / MWK  
CHECKED:  
MPG  
DATE:  
JULY 2017  
SCALE:  
NTS  
JOB #:  
25801  
SHEET #:

20  
SHEETS



**NOTE:**  
THE EXISTING 24' WIDE PAVEMENT ON IRMALEE LANE IS TO REMAIN. THE EDGES WILL BE SAWCUT AS NECESSARY TO INSTALL NEW CURB.



DATE	BY	REVISIONS
4-20-17	TW/MWK	REV PER DRC COMMENTS
6-26-17	JW/MWK	REV PER DRC COMMENTS

EVANS ENGINEERING, INC.  
CERTIFICATE OF AUTHORIZATION NO. 6786  
DATE: JUL 26, 2017

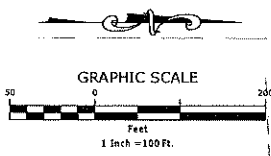
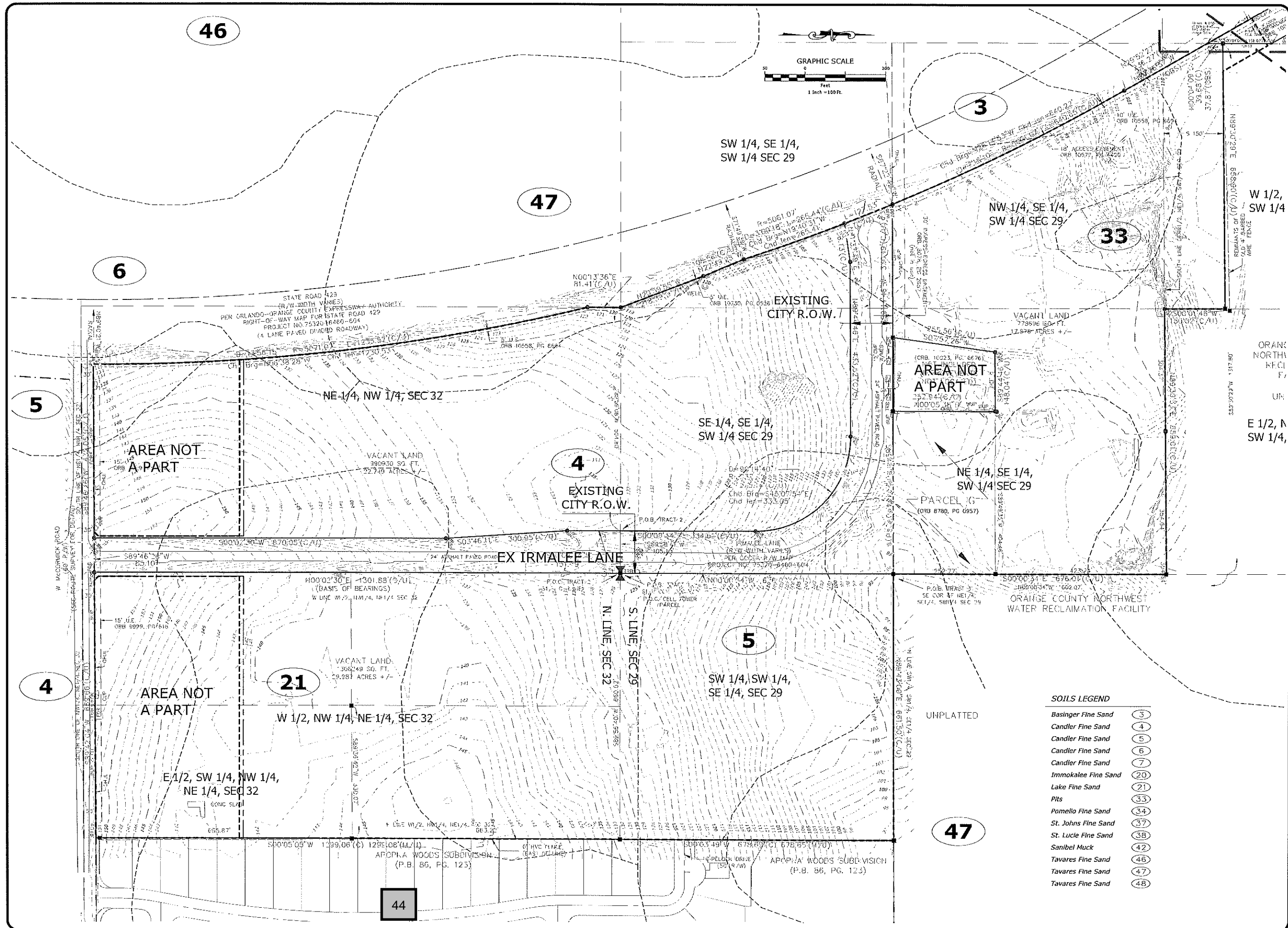
**EVANS ENGINEERING, INC.**  
LAND PLANNING PERMITTING SERVICES  
719 IRMA AVENUE  
ORLANDO, FLORIDA 32803  
(407) 872-1515  
WWW.EVANSENGINEERING.COM  
CERTIFICATE OF AUTHORIZATION NO. 0005788

OAK POINTE  
FOR  
THOMPSON HILLS ESTATES LLC  
FLORIDA  
CITY OF APOPKA.

GENERAL  
DETAILS AND SECTIONS

DRAWN:  
TWV / MWK  
CHECKED:  
MPG  
DATE:  
JULY 2017  
SCALE:  
1" = 100'  
JOB #:  
25801  
SHEET #:

**21**  
SHEETS



**SOILS LEGEND**

Basinger Fine Sand	(5)
Candler Fine Sand	(4)
Candler Fine Sand	(5)
Candler Fine Sand	(6)
Candler Fine Sand	(7)
Immokalee Fine Sand	(20)
Lake Fine Sand	(21)
Pits	(33)
Pomello Fine Sand	(34)
St. Johns Fine Sand	(37)
St. Lucie Fine Sand	(38)
Sanibel Muck	(42)
Tavares Fine Sand	(46)
Tavares Fine Sand	(47)
Tavares Fine Sand	(48)

DATE	BY	REVISIONS
4-20-17	TVMW	REV PER DRC COMMENTS
6-26-17	JMK	REV PER DRC COMMENTS

EVANS ENGINEERING, INC.  
 CERTIFICATE OF AUTHORIZATION NO. 6788  
 DAVID L. EVANS  
 REGISTERED PROFESSIONAL ENGINEER  
 FLORIDA REG. NO. 46836  
 DATE: JULY 26, 2017

**EVANS ENGINEERING, INC.**  
 LAND PLANNING & SURVEYING SERVICES  
 719 IRMA AVENUE  
 ORLANDO, FLORIDA 32803  
 (407) 872-1515  
 WWW.EVANSENGINEERING.COM  
 CERTIFICATE OF AUTHORIZATION NO. 00068788

OAK POINTE  
 FOR  
 THOMPSON HILLS ESTATES LLC  
 FLORIDA  
 CITY OF APOPKA.

**EXISTING CONDITIONS**

DRAWN: TVW / MWK  
 CHECKED: MPG  
 DATE: JULY 2017  
 SCALE: 1" = 50'  
 JOB #: 25801  
 SHEET #:

**3.0**  
 SHEETS

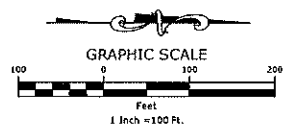
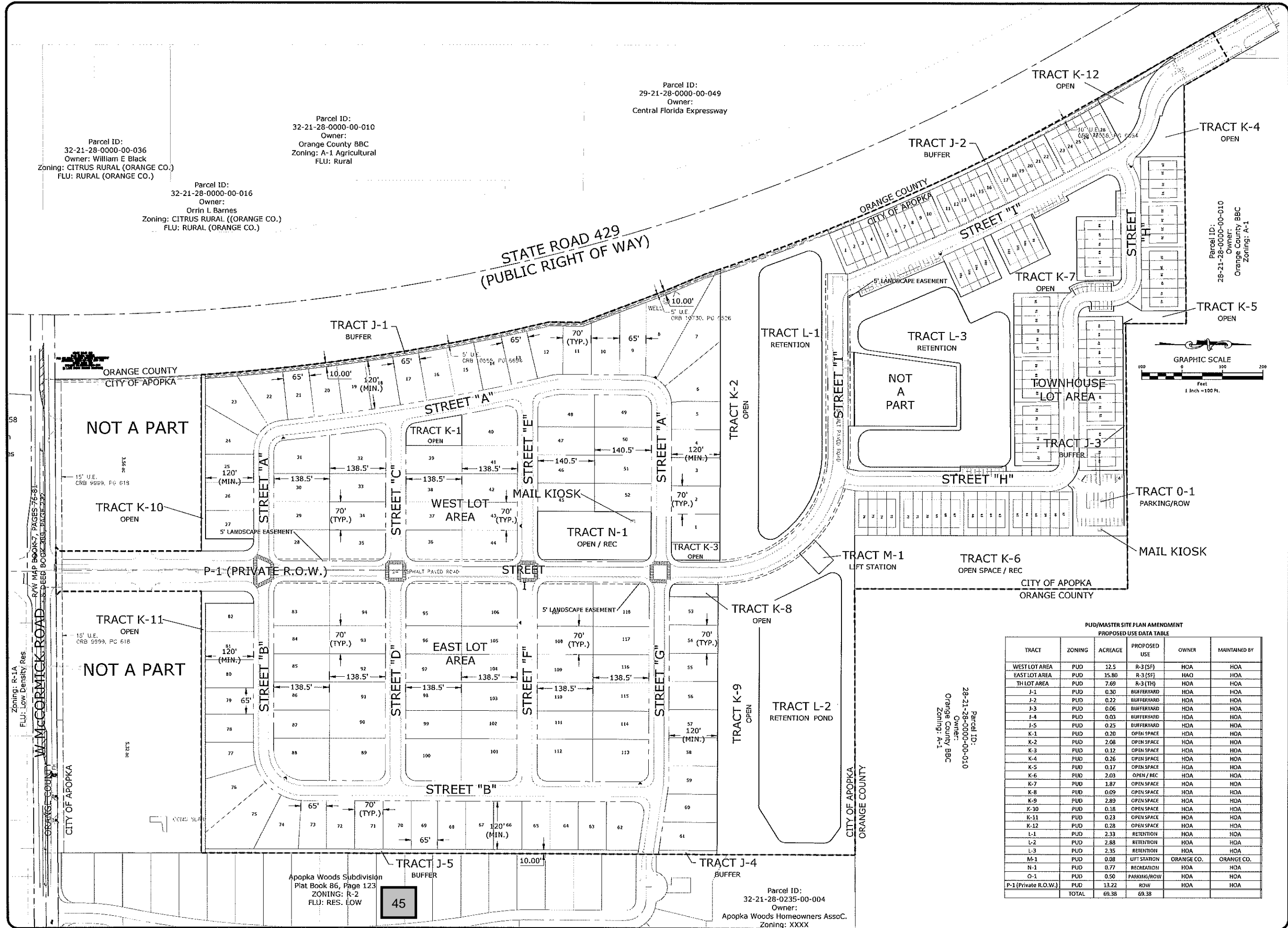
EVANS ENGINEERING, INC. - 3040 South Orange Avenue, Suite 200, Orlando, FL 32803. Phone: (407) 872-1515. Fax: (407) 872-1516. www.evansengineering.com. License No. 00068788. Date: July 26, 2017. 11:22 AM by tvw

Parcel ID:  
32-21-28-0000-00-036  
Owner: William E Black  
Zoning: CITRUS RURAL (ORANGE CO.)  
FLU: RURAL (ORANGE CO.)

Parcel ID:  
32-21-28-0000-00-016  
Owner:  
Orrin L Barnes  
Zoning: CITRUS RURAL ((ORANGE CO.)  
FLU: RURAL (ORANGE CO.)

Parcel ID:  
32-21-28-0000-00-010  
Owner:  
Orange County BBC  
Zoning: A-1 Agricultural  
FLU: Rural

Parcel ID:  
29-21-28-0000-00-049  
Owner:  
Central Florida Expressway



PUD/MASTER SITE PLAN AMENDMENT  
PROPOSED USE DATA TABLE

TRACT	ZONING	ACREAGE	PROPOSED USE	OWNER	MAINTAINED BY
WEST LOT AREA	PUD	12.5	R-3 (SF)	HOA	HOA
EAST LOT AREA	PUD	15.80	R-3 (SF)	HAO	HOA
TH LOT AREA	PUD	2.69	R-3 (TH)	HOA	HOA
J-1	PUD	0.30	BUFFERYARD	HOA	HOA
J-2	PUD	0.22	BUFFERYARD	HOA	HOA
J-3	PUD	0.05	BUFFERYARD	HOA	HOA
J-4	PUD	0.03	BUFFERYARD	HOA	HOA
J-5	PUD	0.25	BUFFERYARD	HOA	HOA
K-1	PUD	0.20	OPEN SPACE	HOA	HOA
K-2	PUD	2.08	OPEN SPACE	HOA	HOA
K-3	PUD	0.12	OPEN SPACE	HOA	HOA
K-4	PUD	0.26	OPEN SPACE	HOA	HOA
K-5	PUD	0.17	OPEN SPACE	HOA	HOA
K-6	PUD	2.03	OPEN / REC	HOA	HOA
K-7	PUD	1.87	OPEN SPACE	HOA	HOA
K-8	PUD	0.09	OPEN SPACE	HOA	HOA
K-9	PUD	2.89	OPEN SPACE	HOA	HOA
K-10	PUD	0.18	OPEN SPACE	HOA	HOA
K-11	PUD	0.23	OPEN SPACE	HOA	HOA
K-12	PUD	0.28	OPEN SPACE	HOA	HOA
L-1	PUD	2.33	RETENTION	HOA	HOA
L-2	PUD	2.88	RETENTION	HOA	HOA
L-3	PUD	2.35	RETENTION	HOA	HOA
M-1	PUD	0.08	LIFT STATION	ORANGE CO.	ORANGE CO.
N-1	PUD	0.77	RECREATION	HOA	HOA
O-1	PUD	0.50	PARKING/ROW	HOA	HOA
P-1 (Private R.O.W.)	PUD	13.22	ROW	HOA	HOA
TOTAL		69.38			

Parcel ID:  
28-21-28-0000-00-010  
Owner:  
Orange County BBC  
Zoning: A-1

Parcel ID:  
32-21-28-0235-00-004  
Owner:  
Apopka Woods Homeowners Assoc.  
Zoning: XXXX

Apopka Woods Subdivision  
Plat Book 86, Page 123  
ZONING: R-2  
FLU: RES. LOW

45

REVISIONS

DATE	BY	DESCRIPTION
4-20-17	TW/MWK	REV PER DRC COMMENTS
6-26-17	JX/MWK	REV PER DRC COMMENTS

EVANS ENGINEERING, INC.  
CERTIFICATE OF  
AUTHORIZATION NO. 6788

EVANS ENGINEERING, INC.  
LAND PLANNING  
PERMITTING SERVICES  
719 IRMA AVENUE  
ORLANDO, FLORIDA 32803  
(407) 872-1515  
www.evansenginc.com  
FLORIDA P.L. NO. 4438  
DATE: JULY 26, 2017

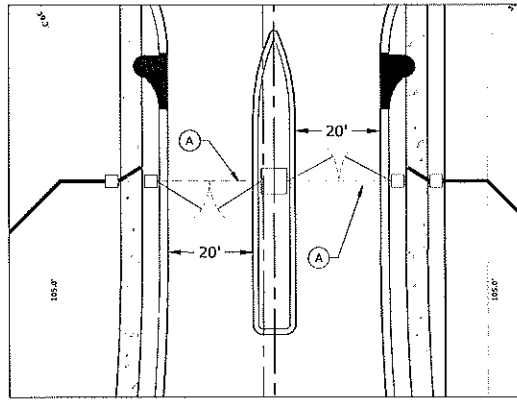
EVANS ENGINEERING, INC.  
719 IRMA AVENUE  
ORLANDO, FLORIDA 32803  
(407) 872-1515  
www.evansenginc.com  
CERTIFICATE OF AUTHORIZATION NO. 0008788

OAK POINTE  
FOR  
THOMPSON HILLS ESTATES LLC  
FLORIDA  
CITY OF APOPKA.

MASTER SITE PLAN

DRAWN:  
TW / MWK  
CHECKED:  
MPG  
DATE:  
JULY 2017  
SCALE:  
1" = 100'  
JOB #:  
25801  
SHEET #:

40  
OF SHEETS

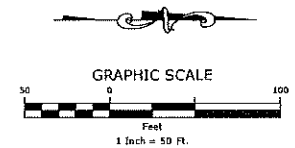


EMERGENCY ACCESS DETAIL  
(FRONT GATE)

NOTES:  
1. EMERGENCY ACCESS GATES TO BE INSTALLED WITH OPTICON SYSTEM, YELP SENSOR, AND KEYPAD. TWO YELP SENSORS TO BE INSTALLED AT EACH GATE, ONE HIGH (6'+) AND ONE LOW (3').

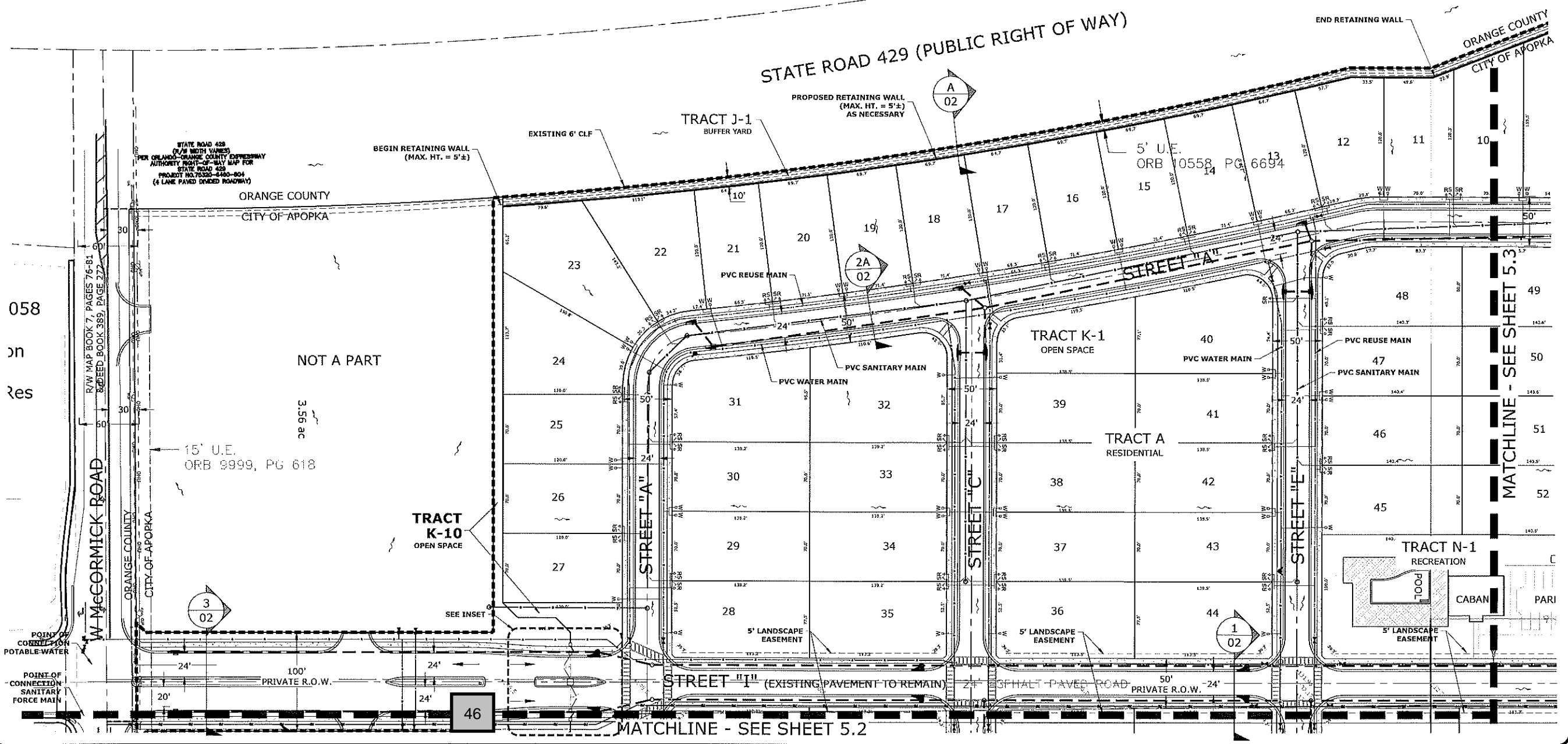
KEY NOTES:  
A EMERGENCY ACCESS GATE (SEE NOTE 1)

Parcel ID:  
32-21-28-0000-00-016  
Owner:  
Orrin L Barnes  
Zoning: CITRUS RURAL ((ORANGE CO.)  
FLU: RURAL (ORANGE CO.)



LEGEND:

UTILITIES	
	STORM SEWER
	SANITARY SEWER
	SANITARY FORCE MAIN
	WATER MAIN
	6" HOA/COMMON AREA SLEEVES
	PROPOSED SANITARY MANHOLE
	PROPOSED CURB INLETS
	PROPOSED DITCH BOTTOM INLETS
	PROPOSED DRAINAGE MANHOLE
	PROPOSED MITERED END SECTION
	PROPOSED HYDRANT ASSEMBLY
	PROPOSED IRRIGATION METER
	PROPOSED SINGLE AND DOUBLE SANITARY CONNECTION
	PROPOSED GATE VALVE
	PROPOSED REDUCER
	SANITARY LIFT STATION



DATE	REVISIONS	BY
4-20-17	REV PER DRC COMMENTS	TVMWK
6-26-17	REV PER DRC COMMENTS	MJRWK

EVANS ENGINEERING, INC.  
CERTIFICATE OF AUTHORIZATION NO. 6788  
DATE: JUL 26, 2017

ORRIN L. BARNES  
FLORIDA P.E. NO. 46366  
DATE: JUL 26, 2017

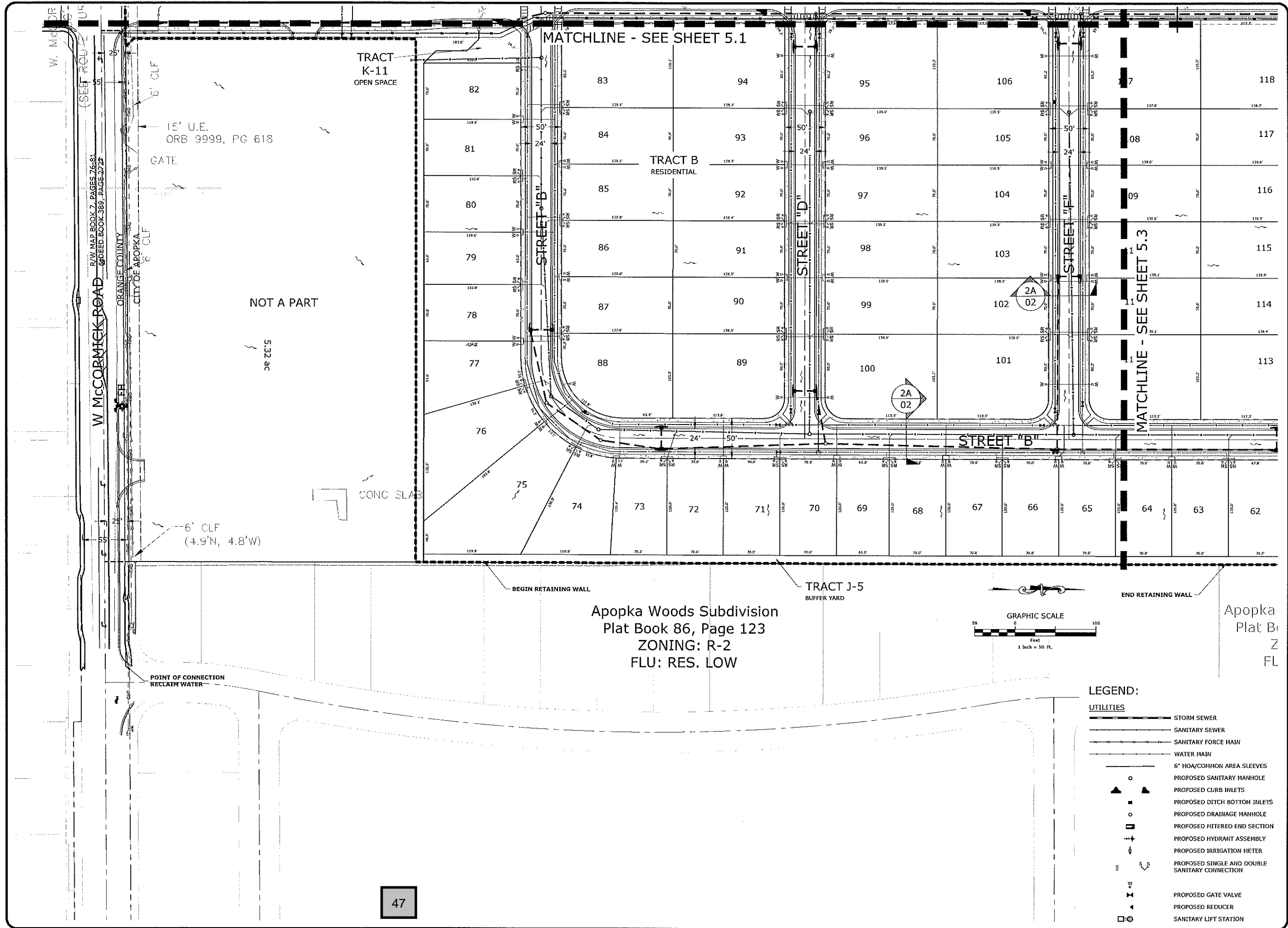
**EVANS ENGINEERING, INC.**  
LAND PLANNING PERMITTING SERVICES  
719 IRMA AVENUE  
ORLANDO, FLORIDA 32803  
(407) 872-1515  
WWW.EVANSENGINEERING.COM  
CERTIFICATE OF AUTHORIZATION NO. 0008788

OAK POINTE  
FOR  
THOMPSON HILLS ESTATES LLC  
CITY OF APOPKA, FLORIDA

PRELIMINARY  
DEVELOPMENT PLAN

DRAWN:  
TVW / MWK  
CHECKED:  
MPG  
DATE:  
JULY 2017  
SCALE:  
1" = 60'  
JOB #:  
25801  
SHEET #:

51  
OF SHEETS



W MCCORMICK ROAD (SEE ROUTE 10)

ORANGE COUNTY CITY OF APOPKA

15' U.E. ORB 9999, PG 618

GATE

NOT A PART

5.32 ac

6' CLF (4.9'N, 4.8'W)

TRACT K-11 OPEN SPACE

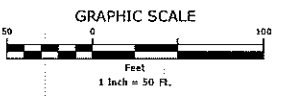
MATCHLINE - SEE SHEET 5.1

TRACT B RESIDENTIAL

Apopka Woods Subdivision  
Plat Book 86, Page 123  
ZONING: R-2  
FLU: RES. LOW

TRACT J-5 BUFFER YARD

MATCHLINE - SEE SHEET 5.3



LEGEND:

- UTILITIES**
- STORM SEWER
  - SANITARY SEWER
  - SANITARY FORCE MAIN
  - WATER MAIN
  - 6" HOA/COMMON AREA SLEEVES
  - PROPOSED SANITARY MANHOLE
  - PROPOSED CURB INLETS
  - PROPOSED DITCH BOTTOM INLETS
  - PROPOSED DRAINAGE MANHOLE
  - PROPOSED MITERED END SECTION
  - PROPOSED HYDRANT ASSEMBLY
  - PROPOSED IRRIGATION METER
  - PROPOSED SINGLE AND DOUBLE SANITARY CONNECTION
  - PROPOSED GATE VALVE
  - PROPOSED REDUCER
  - SANITARY LIFT STATION

DATE	REVISIONS
4-20-17	REV PER DRC COMMENTS
6-26-17	REV PER DRC COMMENTS

EVANS ENGINEERING, INC.  
CERTIFICATE OF AUTHORIZATION NO. 6786  
DAVID L. EVANS  
FLORIDA P.E. NO. 44586  
DATE: JULY 26, 2017

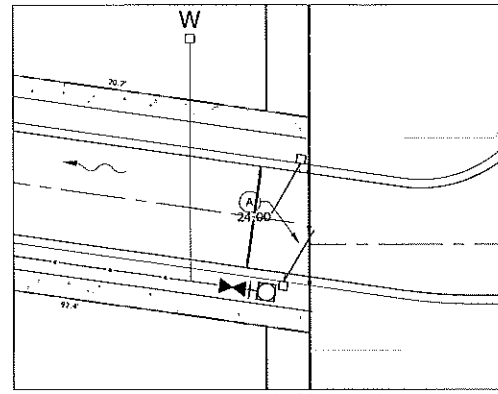
**EVANS ENGINEERING, INC.**  
LAND PLANNING PERMITTING SERVICES  
719 IRMA AVENUE  
ORLANDO, FLORIDA 32803  
(407) 872-1515  
WWW.EVANSENGINEERING.COM  
CERTIFICATE OF AUTHORIZATION NO. 00068758

OAK POINTE FOR THOMPSON HILLS ESTATES LLC  
CITY OF APOPKA, FLORIDA

PRELIMINARY DEVELOPMENT PLAN

DRAWN: TWV / MWK  
CHECKED: MPG  
DATE: JULY 2017  
SCALE: 1" = 50'  
JOB #: 25801  
SHEET #:

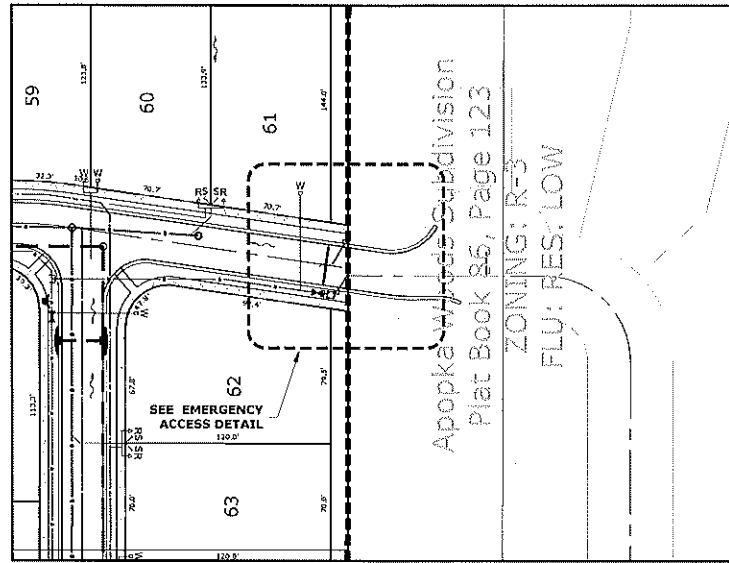
5.2 OF SHEETS



**EMERGENCY ACCESS DETAIL**  
(APOPKA WOODS ENTRY)  
N.T.S.

**NOTES:**  
1. EMERGENCY ACCESS GATES TO BE INSTALLED WITH OPTICON SYSTEM, YELP SENSOR, AND KEYPAD. TWO YELP SENSORS TO BE INSTALLED AT EACH GATE, ONE HIGH (6'+) AND ONE LOW (3').

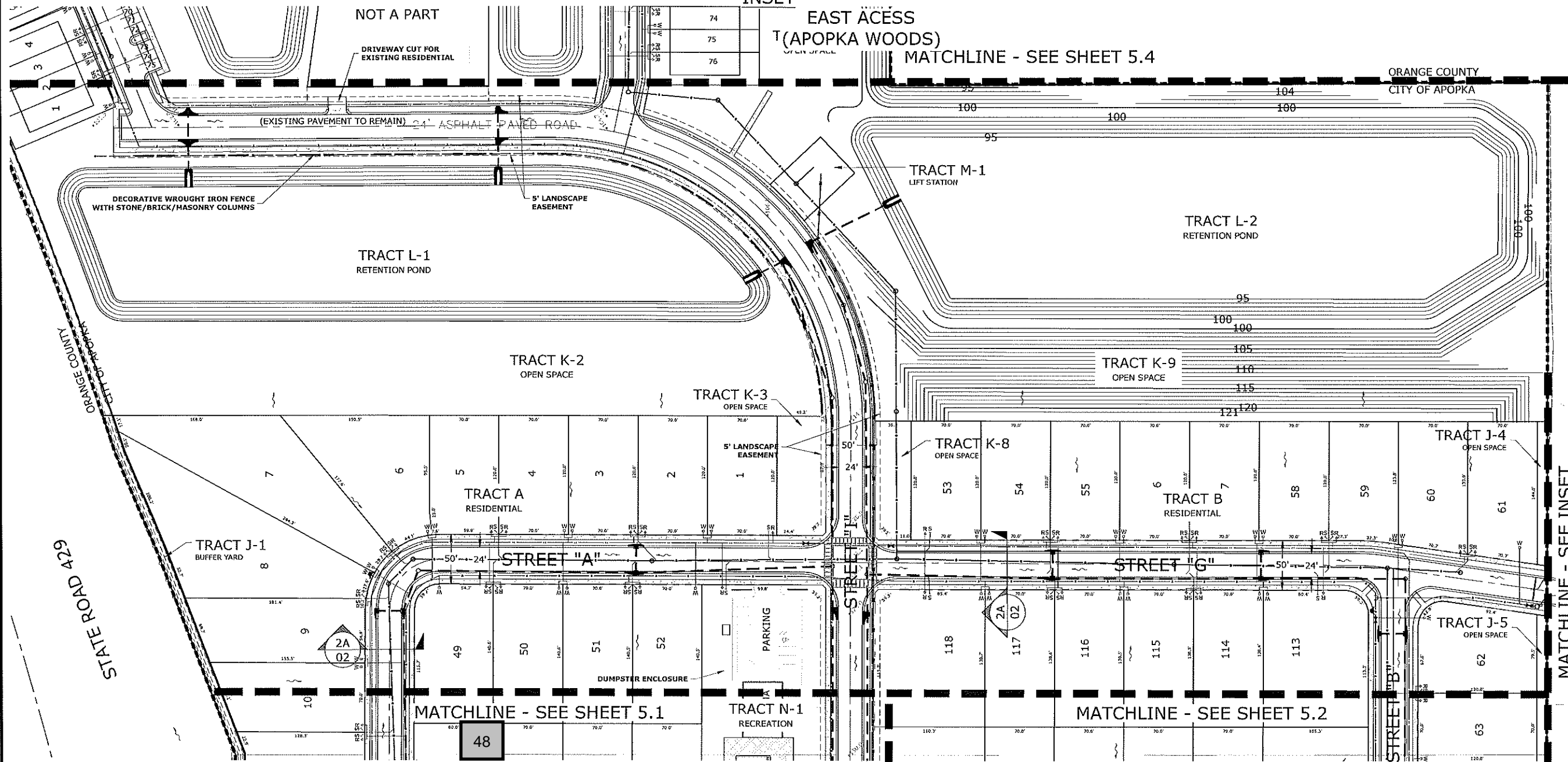
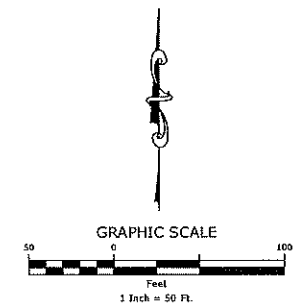
**KEY NOTES:**  
A EMERGENCY ACCESS GATE (SEE NOTE 1)



**INSET**

**LEGEND:**

- UTILITIES**
- STORM SEWER
  - SANITARY SEWER
  - SANITARY FORCE MAIN
  - WATER MAIN
  - 6" HOA/COMMON AREA SLEEVES
  - PROPOSED SANITARY MANHOLE
  - PROPOSED CURB INLETS
  - PROPOSED DITCH BOTTOM INLETS
  - PROPOSED DRAINAGE MANHOLE
  - PROPOSED MITERED END SECTION
  - PROPOSED HYDRANT ASSEMBLY
  - PROPOSED IRRIGATION METER
  - PROPOSED SINGLE AND DOUBLE SANITARY CONNECTION
  - PROPOSED GATE VALVE
  - PROPOSED REDUCER
  - SANITARY LIFT STATION



DATE	REVISIONS	BY
4-20-17	REV PER DRC COMMENTS	TW/MWK
6-26-17	REV PER DRC COMMENTS	JMK/MWK

EVANS ENGINEERING, INC.  
CERTIFICATE OF AUTHORIZATION NO. 0786  
LAND PLANNING PERMITTING SERVICES  
ORLANDO, FLORIDA 32803  
(407) 872-1515  
WWW.EVANSENGINEERING.COM  
DATE: JUL 26, 2017

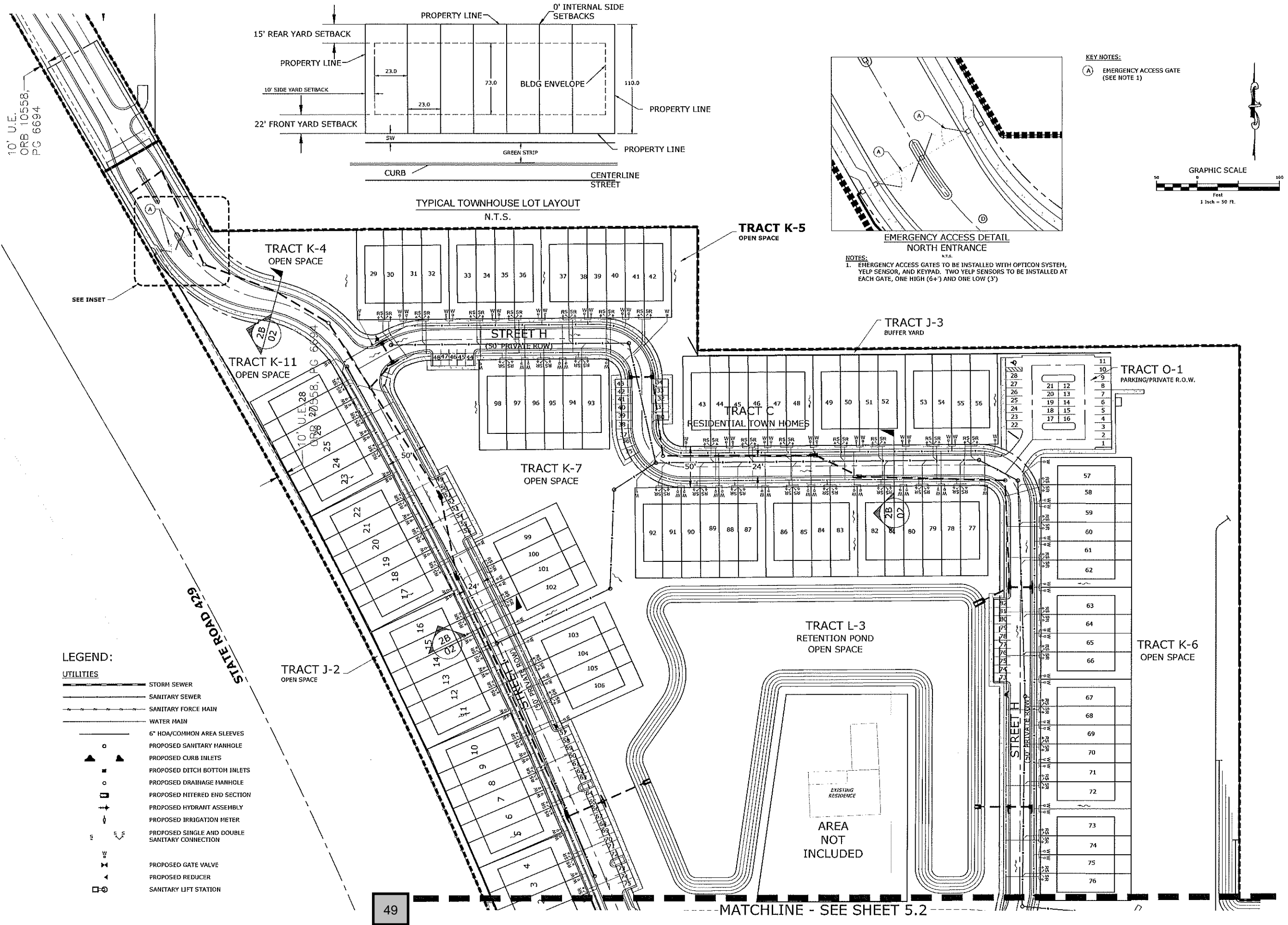
**EVANS ENGINEERING, INC.**  
LAND PLANNING PERMITTING SERVICES  
719 IRMA AVENUE  
ORLANDO, FLORIDA 32803  
(407) 872-1515  
WWW.EVANSENGINEERING.COM  
CERTIFICATE OF AUTHORIZATION NO. 00086758

OAK POINTE  
FOR  
THOMPSON HILLS ESTATES LLC  
FLORIDA  
CITY OF APOPKA

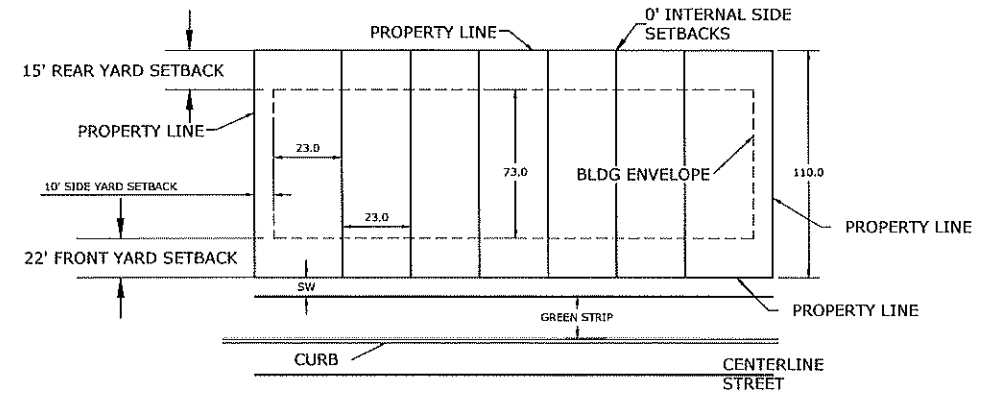
PRELIMINARY  
DEVELOPMENT PLAN

DRAWN: TW / MWK  
CHECKED: MPG  
DATE: JULY 2017  
SCALE: 1" = 50'  
JOB #: 25801  
SHEET #:

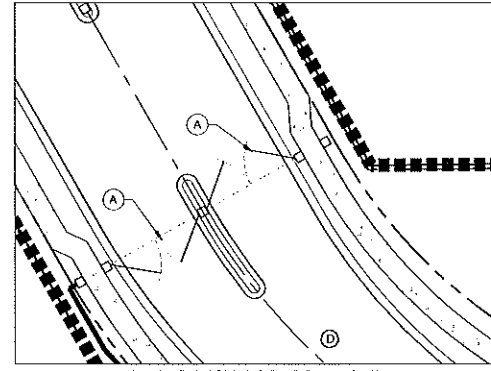




10' U.E.  
ORB 10558,  
PC 6694

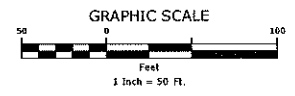


TYPICAL TOWNHOUSE LOT LAYOUT  
N.T.S.



EMERGENCY ACCESS DETAIL  
NORTH ENTRANCE  
N.T.S.

KEY NOTES:  
A EMERGENCY ACCESS GATE  
(SEE NOTE 1)



NOTES:  
1. EMERGENCY ACCESS GATES TO BE INSTALLED WITH OPTICON SYSTEM, YELP SENSOR, AND KEYPAD. TWO YELP SENSORS TO BE INSTALLED AT EACH GATE, ONE HIGH (6'+) AND ONE LOW (3')

- LEGEND:**
- UTILITIES**
- STORM SEWER
  - SANITARY SEWER
  - SANITARY FORCE MAIN
  - WATER MAIN
  - 6" HOA/Common Area Sleeves
  - PROPOSED SANITARY MANHOLE
  - PROPOSED CURB INLETS
  - PROPOSED DITCH BOTTOM INLETS
  - PROPOSED DRAINAGE MANHOLE
  - PROPOSED MITERED END SECTION
  - PROPOSED HYDRANT ASSEMBLY
  - PROPOSED IRRIGATION METER
  - PROPOSED SINGLE AND DOUBLE SANITARY CONNECTION
  - PROPOSED GATE VALVE
  - PROPOSED REDUCER
  - SANITARY LIFT STATION

STATE ROAD 429

49

MATCHLINE - SEE SHEET 5.2

DATE	REVISIONS	BY
4-20-17	REV PER DDC COMMENTS	TW/MWK
6-26-17	REV PER DDC COMMENTS	MWK

EVANS ENGINEERING, INC.  
CERTIFICATE OF AUTHORIZATION NO. 6788  
LABOR PLANNING PERMITTING SERVICES  
ORLANDO, FLORIDA 32803  
(407) 872-1515  
www.evansenginc.com  
DATE: Jul 26, 2017

**EVANS ENGINEERING, INC.**  
LABOR PLANNING PERMITTING SERVICES  
719 IRMA AVENUE  
ORLANDO, FLORIDA 32803  
(407) 872-1515  
www.evansenginc.com  
CERTIFICATE OF AUTHORIZATION NO. 0006788

OAK POINTE  
FOR  
THOMPSON HILLS ESTATES LLC  
FLORIDA  
CITY OF APOPKA.

PRELIMINARY  
DEVELOPMENT PLAN

DRAWN: TWV / MWK  
CHECKED: MPG  
DATE: JULY 2017  
SCALE: 1" = 50'  
JOB #: 26801  
SHEET #:

54  
OF SHEETS





ORANGE COUNTY

FIRE FLOW CALCULATIONS:

PER CHAPTER 18, NFPA 1, 2009 EDITION

CONSTRUCTION TYPE	AREA (sf)	FF REQUIRED (gpm)	R13 SPRINKLER (75% REDUCTION-gpm)	FF PROVIDED (gpm)
COMMERCIAL (NOT A PART)	56,345	5,000	1,250	1,250
SINGLE FAMILY (TRACT A & B)	8,400	2,500	625	1,000
TOWNHOMES (TRACT C)	2,530	1,500	375	1,000

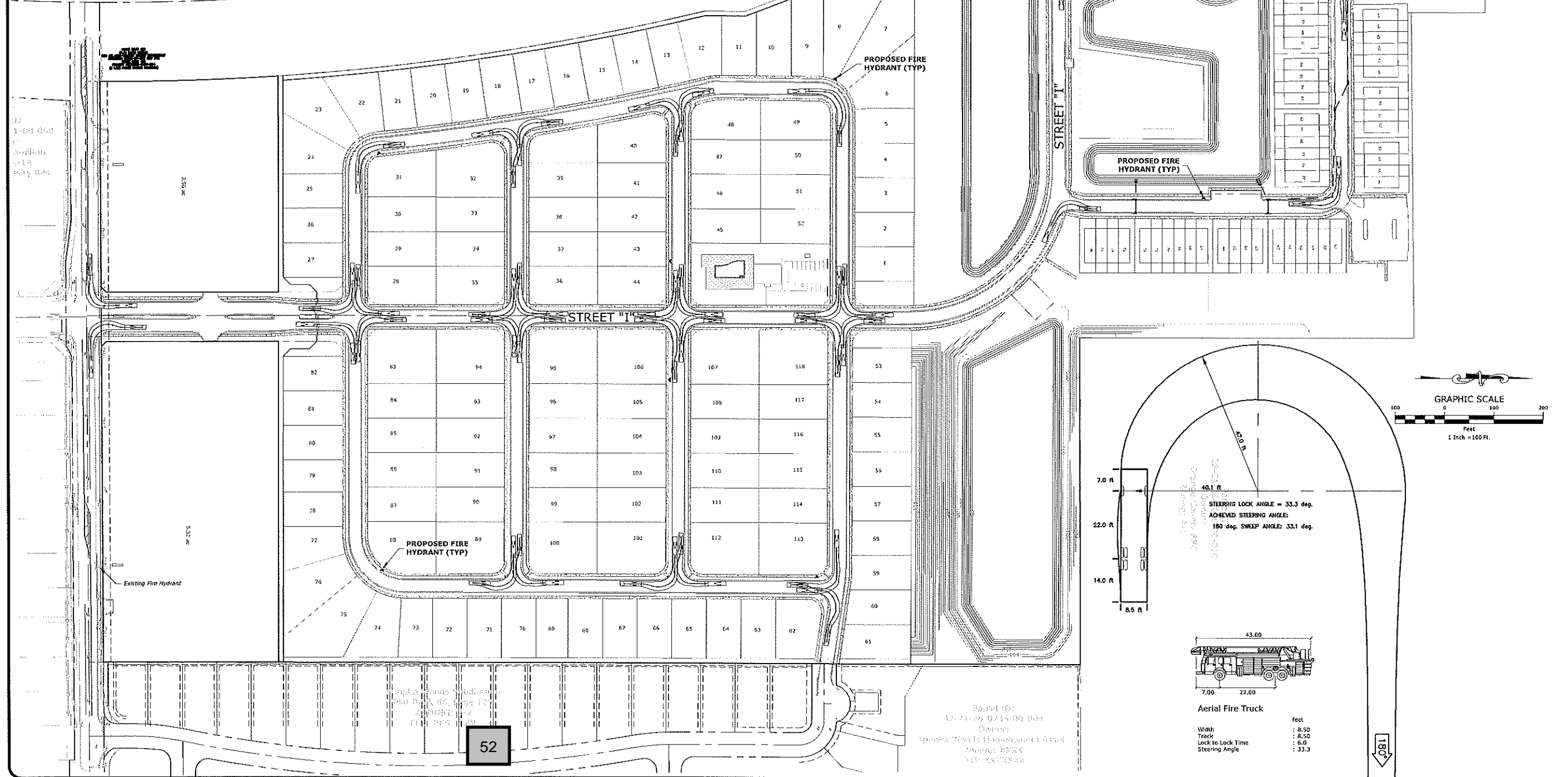
NUMBER OF FIRE HYDRANTS (ALL BUILDINGS)	MIN NUMBER OF HYDRANTS	AVE SPACING BETWEEN HYDRANTS (FT)	MAX DISTANCE FROM ANY POINT ON STREET FRONTAGE (FT)
FIRE FLOW - 1,750 OR LESS	1	500	250
FIRE FLOW - 2,000-2,250 GPM	2	450	225

NOTES: MINIMUM FIRE FLOW FOR COMMERCIAL BUILDINGS PER ORANGE COUNTY FIRE IS 2,000 GPM. BUILDINGS EQUIPPED WITH AUTOMATIC SPRINKLER SYSTEMS SHALL CONFORM TO NFPA STANDARDS.

Orange County  
Zoning: CITRUS RURAL (ORANGE CO.)  
PLANNING DEPARTMENT

STATE ROAD 429  
(RIGHT OF WAY VARIES)

Sheet ID:  
01 21 28 0000 00 009  
Owner:  
Central Florida Properties, LLC



DATE	REVISIONS
4-20-17	1. REV PER DRC COMMENTS
6-24-17	2. REV PER DRC COMMENTS

EVANS ENGINEERING, INC.  
CERTIFICATE OF AUTHORIZATION NO. 6789

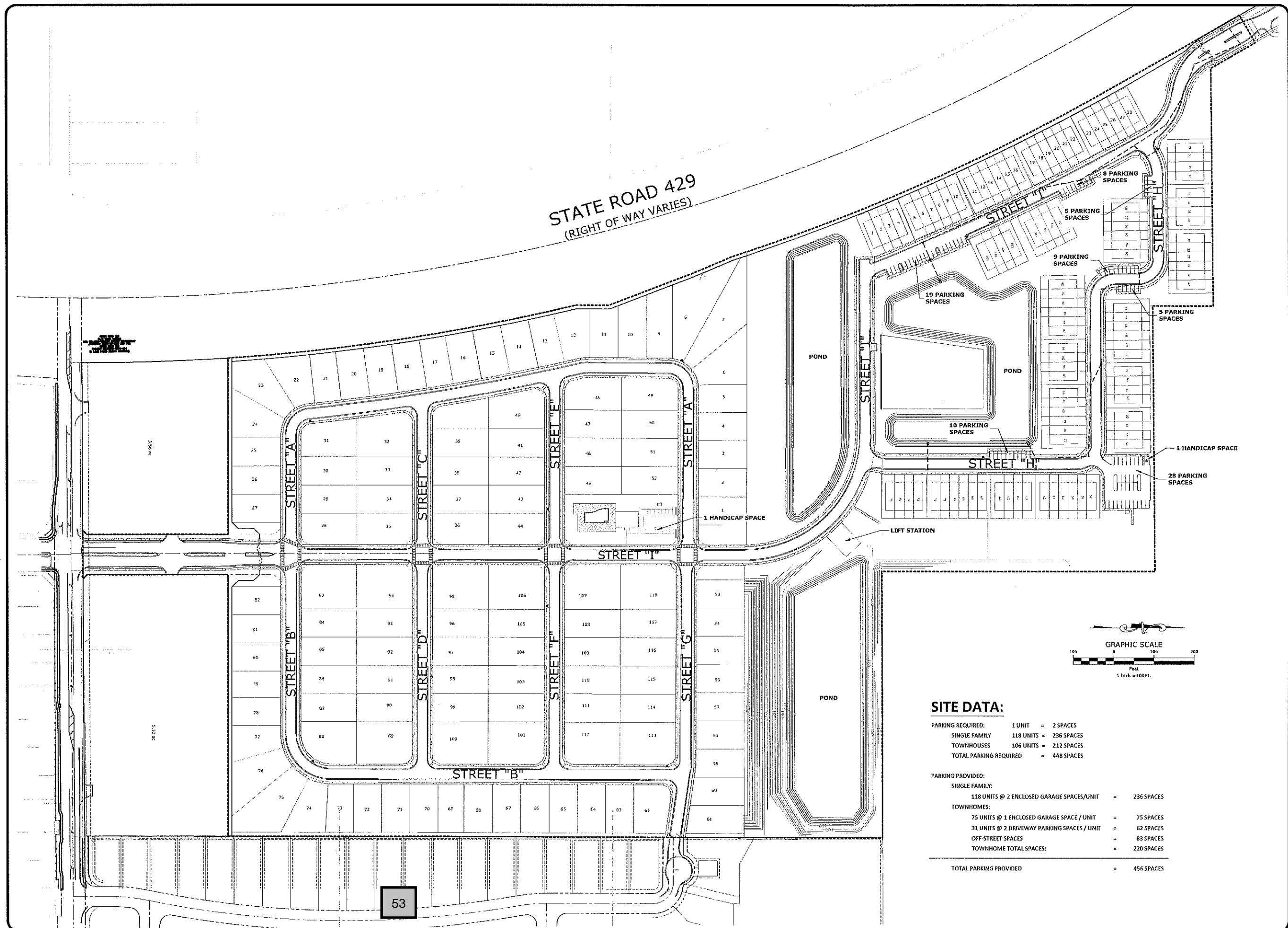
DAVID L. EVANS  
FLORIDA P.E. NO. 46586  
DATE: JUL 26, 2017

**EVANS ENGINEERING, INC.**  
LAND PLANNING PERMITTING SERVICES  
719 IRMA AVENUE  
ORLANDO, FLORIDA 32803  
(407) 872-1515  
www.evansenginc.com  
CERTIFICATE OF AUTHORIZATION NO. 00006789

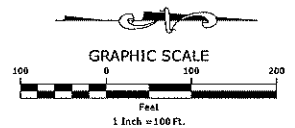
OAK POINTE  
FOR  
THOMPSON HILLS ESTATES LLC  
FLORIDA  
CITY OF APOPKA

PRELIMINARY  
DEVELOPMENT PLAN  
FIRE ACCESS PLAN

DRAWN:  
TVW / MWK  
CHECKED:  
MPG  
DATE:  
JULY 2017  
SCALE:  
1" = 100'  
JOB #:  
25801  
SHEET #:  
80



STATE ROAD 429  
(RIGHT OF WAY VARIES)



**SITE DATA:**

<b>PARKING REQUIRED:</b>	
1 UNIT	= 2 SPACES
SINGLE FAMILY 118 UNITS	= 236 SPACES
TOWNHOUSES 106 UNITS	= 212 SPACES
<b>TOTAL PARKING REQUIRED</b>	<b>= 448 SPACES</b>
<b>PARKING PROVIDED:</b>	
SINGLE FAMILY:	
118 UNITS @ 2 ENCLOSED GARAGE SPACES/UNIT	= 236 SPACES
TOWNHOUSES:	
75 UNITS @ 1 ENCLOSED GARAGE SPACE / UNIT	= 75 SPACES
31 UNITS @ 2 DRIVEWAY PARKING SPACES / UNIT	= 62 SPACES
OFF-STREET SPACES	= 83 SPACES
<b>TOWNHOME TOTAL SPACES:</b>	<b>= 220 SPACES</b>
<b>TOTAL PARKING PROVIDED</b>	<b>= 456 SPACES</b>

DATE	REVISIONS
4-20-17	REV PER DRC COMMENTS
6-16-17	REV PER DRC COMMENTS

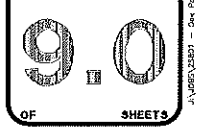
EVANS ENGINEERING, INC.  
CERTIFICATE OF AUTHORIZATION NO. 0788  
  
DAVID L. EVANS  
FLORIDA P.E. NO. 46886  
DATE: Jul 26, 2017

**EVANS ENGINEERING, INC.**  
LAND PLANNING PERMITTING SERVICES  
718 IRMA AVENUE 32803  
ORLANDO, FLORIDA 32803  
(407) 872-1615  
WWW.EVANSENGINEERING.COM  
CERTIFICATE OF AUTHORIZATION NO. 00006788

OAK POINTE  
FOR  
THOMPSON HILLS ESTATES LLC  
CITY OF APOPKA, FLORIDA

PRELIMINARY DEVELOPMENT PLAN  
PARKING ANALYSIS PLAN

DRAWN: TVW / MWK  
CHECKED: MPQ  
DATE: JULY 2017  
SCALE: 1" = 100'  
JOB #: 25801  
SHEET #:



J:\2017\25801 - Oak Pointe Estates\25801 - Oak Pointe Estates.dwg (07/26/17) Printed on: Jul 26, 2017 - 12:20 PM by: jeh

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SCHWEIZER  
BOJACK  
LANDSCAPE  
ARCHITECTURE  
LANDSCAPE & IRRIGATION DESIGN  
PO BOX 94833 • MIAMI, FLORIDA 33194 • PH: (407) 374-423  
LICENSE NO. LC2002487 • DESIGN@SCHWEIZERBOJACK.COM

STATE ROAD 429

MATCHLINE - SEE SHEET L-2

MATCHLINE - SEE SHEET L-2

EXISTING TREE TO BE PRESERVED

EXISTING TREES TO BE PRESERVED

HATCHING INDICATES  
LIMITS OF TREE REMOVAL

HATCHING INDICATES  
LIMITS OF TREE REMOVAL

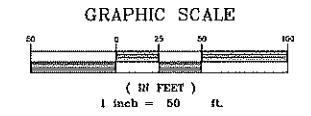
TREE LOCATION  
AND NUMBER  
(TYP)

THIS PARCEL IS  
NOT INCLUDED  
(FUTURE COMMERCIAL)

THIS PARCEL IS  
NOT INCLUDED  
(FUTURE COMMERCIAL)

54 MCCORMICK ROAD  
(60' R/W)

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# TREE REMOVAL PLAN

(SHEET 1 OF 4)

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

OAK POINTE - PUD / MASTER PLAN  
1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

- 7/21/17
- 6/23/17
- 5/17/17
- 5/01/17
- 4/12/17
- 1/31/17

DRAWN BY: KB  
SHEET NUMBER  
L-1

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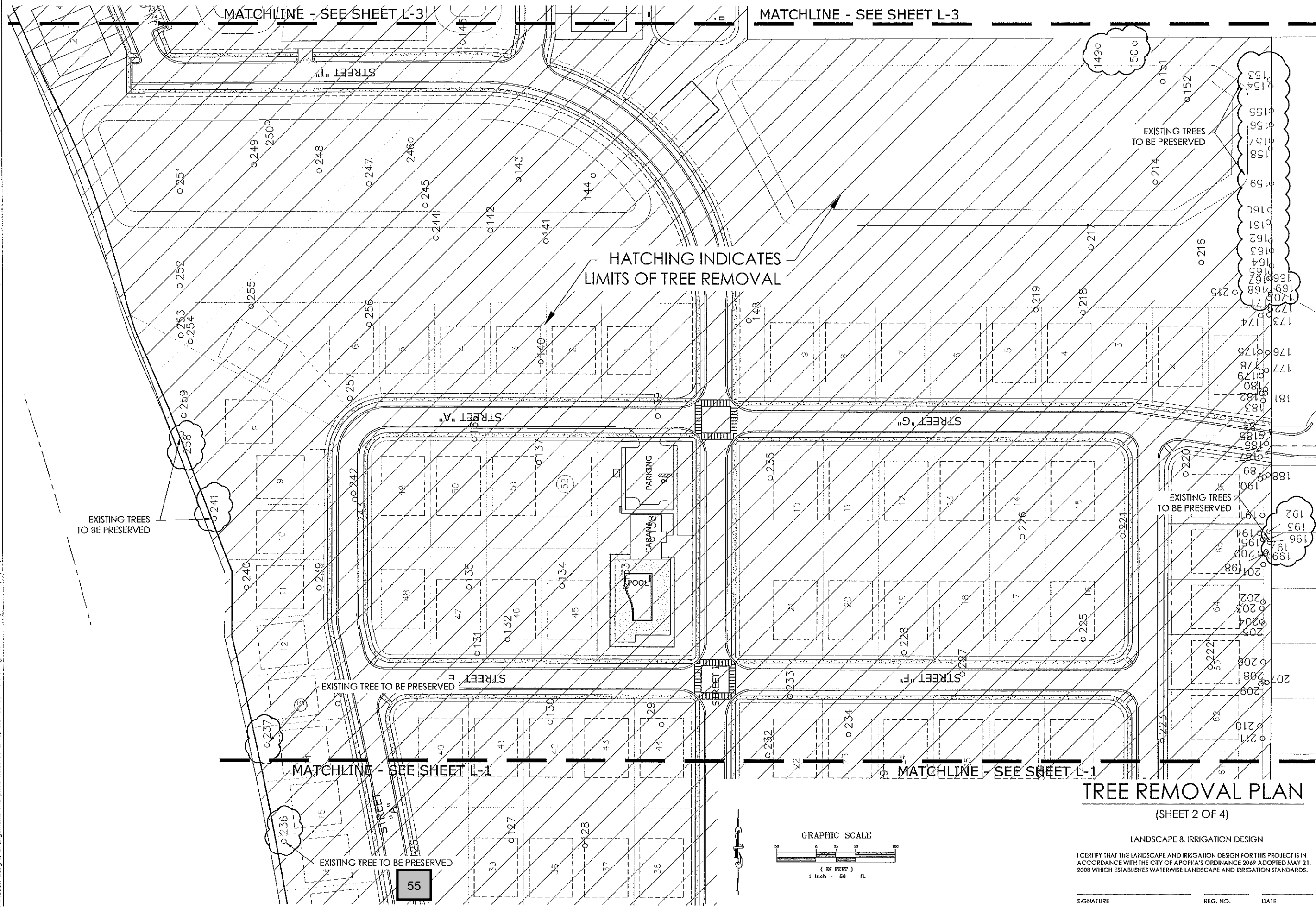
SCHWEIZER  
BOJACK  
LANDSCAPE  
ARCHITECTURE

LANDSCAPE & IRRIGATION DESIGN  
PO BOX 48883 • APOPKA, FLORIDA 32794 • PH: (407) 376-1423  
LICENSE NO. LC74000497 • DESIGN@SCHWEIZERBOJACK.COM

OAK POINTE - PUD / MASTER PLAN  
1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

- 7/21/17
- 6/23/17
- 5/17/17
- 5/01/17
- 4/12/17
- 1/31/17

1/31/17  
DRAWN BY: KB  
SHEET NUMBER  
**L-2**



# TREE REMOVAL PLAN

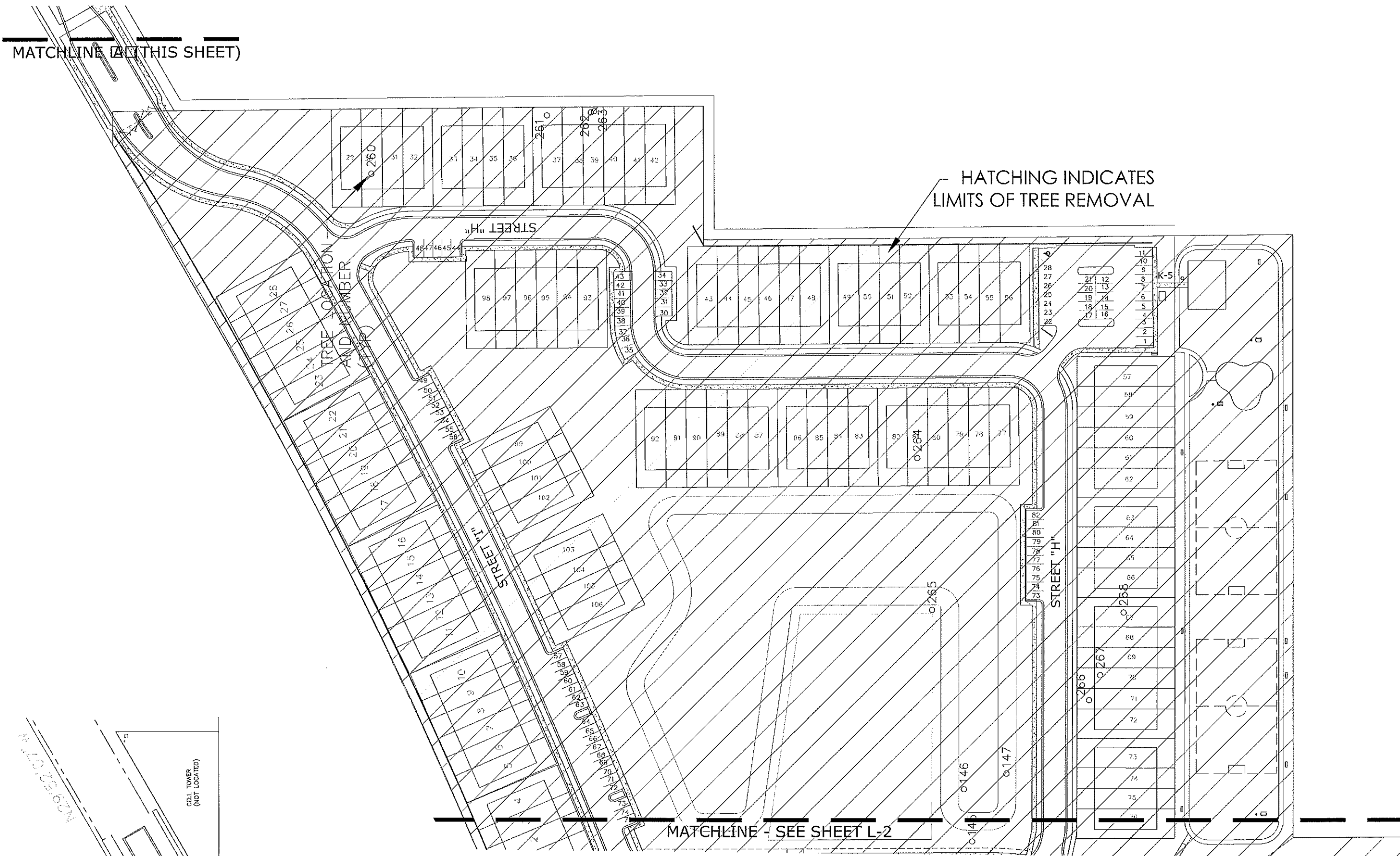
(SHEET 2 OF 4)

LANDSCAPE & IRRIGATION DESIGN

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SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

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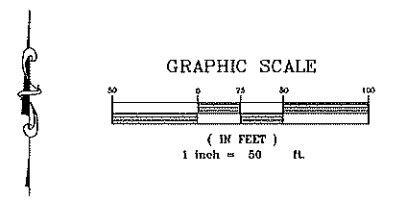


HATCHING INDICATES  
LIMITS OF TREE REMOVAL

MATCHLINE - SEE SHEET L-2

MATCHLINE (THIS SHEET)  
SEE SHEET L-1

56



**TREE REMOVAL PLAN**  
(SHEET 3 OF 4)

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_



TREE REMOVAL

TREE NO.	SPECIES	DIAMETER (INCHES)	QUANTITY
1	OAK	6	SINGLE
2	PINE	14	SINGLE
3	PINE	8	SINGLE
4	PINE	12	SINGLE
12	OAK	24	SINGLE
13	OAK	24*	SINGLE
14	OAK	24	SINGLE
16	OAK	23	DOUBLE
17	OAK	38	SINGLE
35	OAK	24	SINGLE
36	OAK	35	SINGLE
37	OAK	26	SINGLE
38	OAK	30	SINGLE
39	OAK	24	DOUBLE
40	OAK	28	SINGLE
41	OAK	64	SINGLE
42	CABBAGE-PALM	20	SINGLE
43	OAK	52	SINGLE
44	OAK	28	SINGLE
45	OAK	30	SINGLE
46	OAK	22	SINGLE
47	OAK	30	SINGLE
114	OAK	26	SINGLE
115	OAK	24*	SINGLE
116	OAK	24	SINGLE
117	OAK	30	SINGLE
118	OAK	28	SINGLE
119	OAK	32	SINGLE
120	OAK	30	SINGLE
121	OAK	44	SINGLE
122	OAK	28	SINGLE
123	OAK	30	SINGLE
124	OAK	30	SINGLE
125	OAK	42	SINGLE
126	OAK	34	SINGLE
127	OAK	26	SINGLE
128	OAK	30	SINGLE
129	OAK	30	SINGLE
130	OAK	46	SINGLE
131	OAK	28	SINGLE
132	OAK	28	SINGLE
133	OAK	52	SINGLE
134	OAK	24	SINGLE
135	OAK	34	SINGLE
136	OAK	24	SINGLE
137	OAK	32	SINGLE
138	OAK	24	SINGLE
139	OAK	32	SINGLE
140	OAK	80	SINGLE
141	OAK	24	SINGLE
142	OAK	26	SINGLE
143	OAK	40	SINGLE
144	OAK	24	SINGLE
145	OAK	22	SINGLE
146	OAK	24	SINGLE
147	OAK	44	SINGLE
148	OAK	26	SINGLE
151	OAK	42	SINGLE
152	OAK	36	SINGLE
172	OAK	6	DOUBLE
178	OAK	18	SINGLE
174	OAK	10	SINGLE
175	OAK	20	SINGLE
176	OAK	20	SINGLE
177	OAK	10	SINGLE
178	OAK	6	DOUBLE
179	OAK	8	SINGLE
180	OAK	12	SINGLE
181	OAK	18	SINGLE
182	OAK	24	SINGLE
183	OAK	8	DOUBLE
184	OAK	22	SINGLE
185	OAK	28	SINGLE
186	OAK	12	SINGLE
187	OAK	6	SINGLE

TREE PRESERVATION

TREE NO.	SPECIES	DIAMETER (INCHES)	QUANTITY
188	OAK	14	SINGLE
189	OAK	12	SINGLE
190	OAK	12	SINGLE
191	OAK	48	SINGLE
194	OAK	24	SINGLE
195	OAK	18	DOUBLE
198	OAK	12	SINGLE
200	CABBAGE-PALM	16	SINGLE
201	OAK	14	SINGLE
202	CABBAGE-PALM	14	SINGLE
203	OAK	8	SINGLE
204	OAK	8	DOUBLE
205	OAK	32	SINGLE
206	OAK	14	DOUBLE
207	OAK	20	SINGLE
208	OAK	14	SINGLE
209	OAK	10	SINGLE
210	OAK	28	SINGLE
211	OAK	6	3-4 CLUSTER
212	CABBAGE-PALM	16	SINGLE
213	OAK	10	3-4 CLUSTER
214	OAK	82	SINGLE
215	OAK	40	SINGLE
216	OAK	36	SINGLE
217	OAK	24	TRIPLE
218	OAK	30	SINGLE
219	OAK	36	SINGLE
220	OAK	42	SINGLE
221	OAK	42	SINGLE
222	OAK	50	SINGLE
223	OAK	40	SINGLE
224	OAK	28	SINGLE
225	OAK	26	TRIPLE
226	OAK	42	SINGLE
227	OAK	40	DOUBLE
228	OAK	38	SINGLE
229	OAK	24	SINGLE
230	OAK	32	SINGLE
231	OAK	26	SINGLE
232	OAK	22	SINGLE
233	OAK	44	SINGLE
234	OAK	46	SINGLE
235	OAK	30	SINGLE
236	OAK	26	SINGLE
239	OAK	26	SINGLE
240	OAK	18	TRIPLE
242	OAK	30	SINGLE
243	OAK	30	SINGLE
244	OAK	20	SINGLE
245	OAK	18	SINGLE
246	OAK	18	SINGLE
247	OAK	26	SINGLE
248	OAK	18	SINGLE
249	OAK	24	SINGLE
250	OAK	20	SINGLE
251	OAK	32	SINGLE
252	OAK	34	SINGLE
253	OAK	40	SINGLE
254	OAK	42	SINGLE
255	OAK	34	SINGLE
256	OAK	68	SINGLE
257	OAK	28	SINGLE
258	OAK	18	SINGLE
259	OAK	20	SINGLE
260	OAK	20	SINGLE
261	OAK	28	SINGLE
262	OAK	18	SINGLE
263	OAK	16	DOUBLE
264	OAK	52	SINGLE
265	OAK	42	SINGLE
266	OAK	26	SINGLE
267	OAK	26	SINGLE
268	OAK	34	SINGLE
269	OAK	10	SINGLE

TREE NO.	SPECIES	DIAMETER (INCHES)	QUANTITY
49	OAK	12	SINGLE
50	OAK	32	SINGLE
51	OAK	28	SINGLE
52	OAK	14	SINGLE
53	OAK	16	SINGLE
54	OAK	14	SINGLE
55	OAK	16	SINGLE
56	OAK	14	SINGLE
57	OAK	64	SINGLE
58	OAK	18	SINGLE
59	OAK	14	SINGLE
60	OAK	18	SINGLE
61	OAK	30	SINGLE
62	OAK	8	SINGLE
63	OAK	8	SINGLE
64	OAK	20	SINGLE
65	OAK	12	SINGLE
66	OAK	16	SINGLE
67	OAK	20	SINGLE
68	OAK	6	SINGLE
69	OAK	18	SINGLE
70	OAK	16	SINGLE
71	OAK	8	SINGLE
72	OAK	18	SINGLE
73	OAK	6	SINGLE
149	OAK	10	SINGLE
150	PINE	10	SINGLE
153	OAK	32	SINGLE
154	OAK	10	SINGLE
155	OAK	28	SINGLE
156	OAK	26	SINGLE
157	OAK	18	SINGLE
158	OAK	12	SINGLE
159	OAK	28	SINGLE
160	OAK	12	SINGLE
161	OAK	6	SINGLE
162	OAK	26	TRIPLE
163	OAK	8	SINGLE
164	OAK	8	SINGLE
165	OAK	8	SINGLE
166	OAK	32	SINGLE
167	OAK	8	SINGLE
168	OAK	6	SINGLE
169	OAK	14	SINGLE
170	OAK	12	SINGLE
171	OAK	8	SINGLE
192	OAK	10	SINGLE
193	OAK	10	SINGLE
196	OAK	8	SINGLE
197	CABBAGE-PALM	14	SINGLE
199	OAK	12	SINGLE
236	OAK	60	SINGLE
237	OAK	38	SINGLE
241	OAK	20	SINGLE

TREE REMOVAL DATA

TOTAL EXISTING TREES TO BE REMOVED: 160 TREES (4,024")  
 SPECIMEN TREES (≥24" DBH) REMOVED: 98 TREES (3,192")  
 PROTECTED TREES (<24" DBH) REMOVED: 62 TREES (832")  
 (NOTE: CABBAGE PALMS & TREES UNDER 6" DBH NOT INCLUDED)

TREE PRESERVATION DATA

TOTAL EXISTING TREES TO BE PRESERVED: 53 TREES (926")  
 SPECIMEN TREES (≥24" DBH) PRESERVED: 12 TREES (424")  
 PROTECTED TREES (<24" DBH) PRESERVED: 41 TREES (502")  
 (NOTE: CABBAGE PALMS & TREES UNDER 6" DBH NOT INCLUDED)

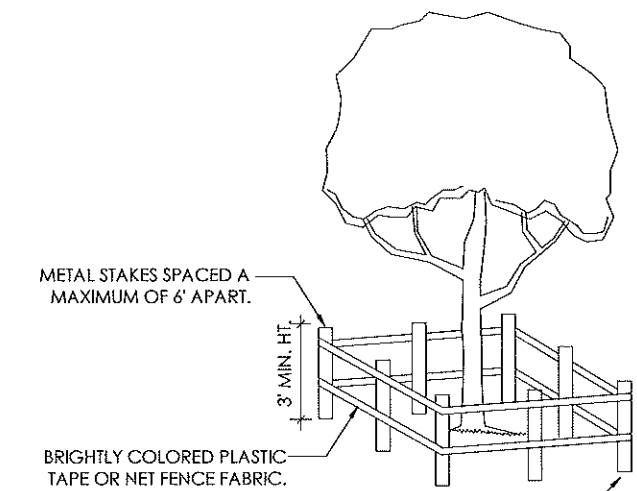
TREE REQUIREMENT (MAX. TREE STOCK CALCULATION)

TOTAL SITE AREA: 3,022,193 SQ. FT. (69.38 ACRES)  
 TREES REQUIRED: 378 TREES (1 TREE/8,000 SQ. FT.)  
 TREES PROVIDED: 879 TREES (INCLUDES BUFFER TREES)

TREE REPLACEMENT (PROPOSED TREES)

9 LIVE OAKS x 3.5" DBH = 31.5"  
 290 LIVE OAKS x 3" DBH = 870"  
 7 MAGNOLIAS x 3" DBH = 21"  
 45 RED MAPLES x 3" DBH = 135"  
 70 BALD CYPRESS x 3" DBH = 210"  
 289 LOT CANOPY TREES x 3" DBH = 867"  
 59 RED CEDARS x 3" DBH = 177"  
 37 YAUPON HOLLIES x 3" DBH = 111"  
 73 CRAPE MYRTLES x 3" DBH = 219"  
**879 PROPOSED TREES = 2,641.5"**

TREE PROTECTION DETAIL



PROTECTIVE BARRIERS SHALL BE PLACED AT POINTS NOT CLOSER THAN SIX (6) FEET FROM THE BASE OF THE TREE OR AT THE RADIUS OF THE DRIP-LINE OF THE PROTECTED TREE OR STAND OF TREES, WHICHEVER IS GREATER. EACH SECTION OF THE BARRIER SHALL BE CLEARLY VISIBLE (FLAGGED WITH BRIGHTLY COLORED PLASTIC TAPES OR OTHER MARKERS). NO ATTACHMENTS OR WIRES OTHER THAN THOSE OF A PROTECTIVE OR NON-DAMAGING NATURE SHALL BE ATTACHED TO ANY TREE.

TREE PROTECTION NOTES


1. Protective barriers constructed of wood rails, chain link fabric or orange plastic safety netting shall be placed around the tree or trees to form a continuous barricade at least four feet high. Ideally such barriers will form a protection zone described by the drip line.
2. Protective barriers shall remain in place until landscape operations begin or until construction in the immediate area has been completed.
3. Trenching for underground utilities shall be prohibited inside the protective barriers. If underground utilities must be routed through the protected area, tunneling shall be required. All landscape preparation in these areas shall be conducted by hand, except for mechanical tunneling as needed.
4. No vehicles, equipment, materials or fill shall be placed or stored within the protected area.

TREE REMOVAL & TREE PRESERVATION TABLE NOTES:

1. TREES #13 & #115 SIZES CHANGED DUE TO ERROR IN SIZE REPORTED ON TREE SURVEY FOUND DURING SITE ANALYSIS BY LANDSCAPE ARCHITECT (INDICATED BY \*).
2. TREES #145, #148, #222, #238, #249, #251, #253, #254 & #260 OMITTED FROM TREE MITIGATION CALCULATIONS DUE TO EXTREME POOR HEALTH AND/OR DISEASE (INDICATED BY STRIKETHROUGH).
3. TREES #5 THRU #11, #15, #18 THRU #34, #48, & #74 THRU #113 HAVE BEEN OMITTED FROM THE TREE REMOVAL & TREE PRESERVATION TABULATIONS AS THEY ARE OUTSIDE THE LIMITS OF THE PROJECT.
4. CABBAGE PALMS (#42, #197, #200, #202 & #212) HAVE BEEN OMITTED FROM THE TREE REMOVAL & TREE PRESERVATION TABULATIONS DUE TO "NON-PROTECTED" STATUS (INDICATED BY STRIKETHROUGH)

TREE REMOVAL PLAN  
 (SHEET 4 OF 4)

LANDSCAPE & IRRIGATION DESIGN  
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 SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_

  
**SCHWEIZER BOJACK LANDSCAPE ARCHITECTURE**  
 LANDSCAPE & IRRIGATION DESIGN  
 PO BOX 98835 • MAITLAND, FLORIDA 32794 • PH. (407) 976-1423  
 LICENSE NO. LC2600487 • DESIGN#SCHWEIZERBOJACK.COM  
**OAK POINTE - PUD / MASTER PLAN**  
 1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703  
 7/21/17  
 6/23/17  
 5/17/17  
 5/01/17  
 4/12/17  
 1/31/17  
 DRAWN BY: KB  
 SHEET NUMBER  
**L-4**

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**LANDSCAPE NOTES:**

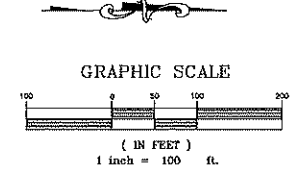
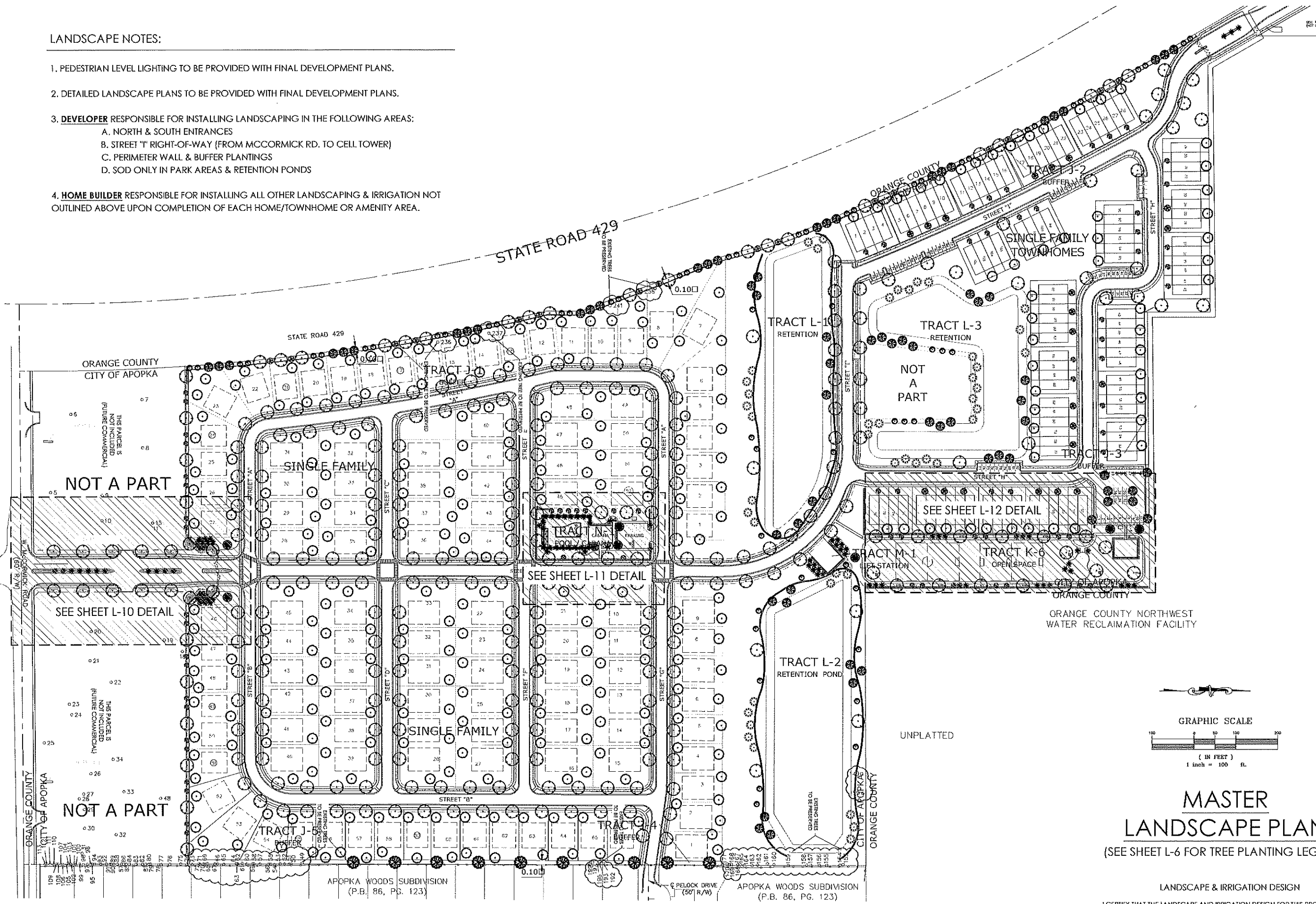
1. PEDESTRIAN LEVEL LIGHTING TO BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
2. DETAILED LANDSCAPE PLANS TO BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
3. **DEVELOPER** RESPONSIBLE FOR INSTALLING LANDSCAPING IN THE FOLLOWING AREAS:
  - A. NORTH & SOUTH ENTRANCES
  - B. STREET "I" RIGHT-OF-WAY (FROM MCCORMICK RD. TO CELL TOWER)
  - C. PERIMETER WALL & BUFFER PLANTINGS
  - D. SOD ONLY IN PARK AREAS & RETENTION PONDS
4. **HOME BUILDER** RESPONSIBLE FOR INSTALLING ALL OTHER LANDSCAPING & IRRIGATION NOT OUTLINED ABOVE UPON COMPLETION OF EACH HOME/TOWNHOME OR AMENITY AREA.

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LICENSE NO. LC2000847 • DESIGN@SCHWEIZERBOJACK.COM



**MASTER  
LANDSCAPE PLAN**  
(SEE SHEET L-6 FOR TREE PLANTING LEGEND)

LANDSCAPE & IRRIGATION DESIGN

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**OAK POINTE - PUD / MASTER PLAN**  
1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

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- 5/17/17
- 5/01/17
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- 1/31/17

DRAWN BY: FB  
SHEET NUMBER  
**L-5**



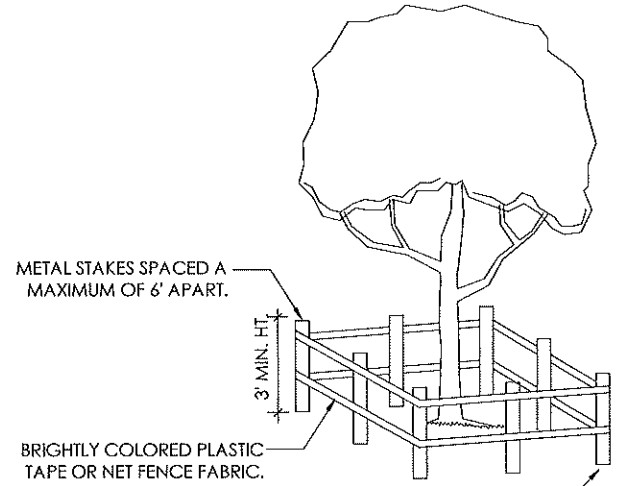
SCHWEIZER  
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LANDSCAPE  
ARCHITECTURE

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OAK POINTE - PUD / MASTER PLAN  
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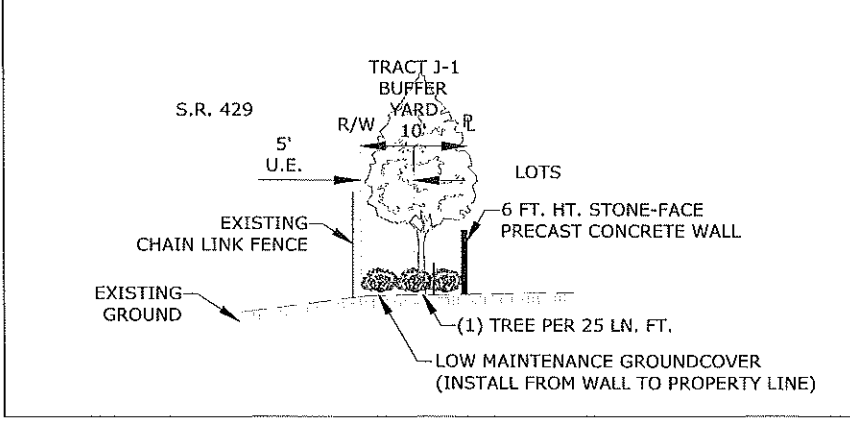
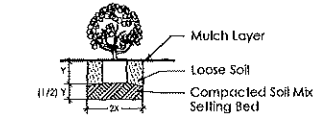
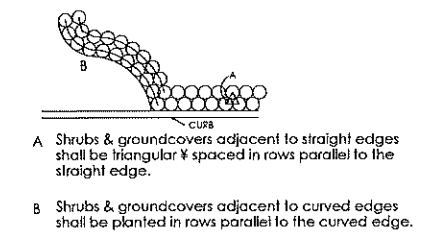
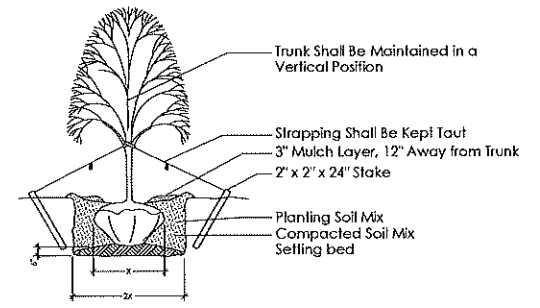
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2/5/01/17  
1/4/12/17  
1/31/17  
DRAWN BY: KB  
SHEET NUMBER  
L-6

### TREE PROTECTION DETAIL



PROTECTIVE BARRIERS SHALL BE PLACED AT POINTS NOT CLOSER THAN SIX (6) FEET FROM THE BASE OF THE TREE OR AT THE RADIUS OF THE DRIP-LINE OF THE PROTECTED TREE OR STAND OF TREES, WHICHEVER IS GREATER. EACH SECTION OF THE BARRIER SHALL BE CLEARLY VISIBLE (FLAGGED WITH BRIGHTLY COLORED PLASTIC TAPES OR OTHER MARKERS). NO ATTACHMENTS OR WIRES OTHER THAN THOSE OF A PROTECTIVE OR NON-DAMAGING NATURE SHALL BE ATTACHED TO ANY TREE.

### PLANTING DETAILS



TYPICAL WESTERN LANDSCAPE BUFFER SECTION (SCALE: N.T.S.)

### LANDSCAPE GENERAL NOTES

- The Landscape Contractor shall insure that this work does not interrupt established or projected drainage patterns. The Landscape Contractor shall insure adequate vertical drainage in all plant beds and planters. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage.
- The Landscape Contractor shall be responsible for all materials and all work as called for on the landscape plans and in the landscape specifications. The list of plant quantities accompanying the plans shall be used as a guide only. Contractor shall verify all quantities and report any discrepancies at the time of bidding.
- All plant materials shall be graded Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industry, State of Florida, unless otherwise noted.
- All plant beds and tree rings shall be top dressed with a 3" minimum depth of pine bark nuggets.
- The Landscape Contractor shall be wholly responsible for stability and plumb condition of all trees and shrubs. Staking of trees or shrubs, if desired or requested by the Landscape Architect or owner, shall be done utilizing a method agreed upon by the Landscape Architect.
- No fill material or use of heavy equipment around existing trees is allowed. Existing trees are to be protected by a wood barricade erected in compliance with local codes.
- The Landscape Contractor is responsible for testing project soils. The Landscape Contractor is to provide a certified soils report to the Owner and Landscape Architect. The Landscape Contractor shall verify that the soils on site are acceptable for proper growth of the proposed plant material. Should the Landscape Contractor find poor soil conditions, the Owner and Landscape Architect must be consulted prior to planting.
- All grades, dimensions and existing conditions shall be verified by the Contractor on site before construction begins. Any discrepancies shall be brought to the attention of the Landscape Architect.
- All proposed trees to be installed either entirely in or entirely out of planting beds. Planting bedlines are not to be obstructed; smooth and flowing.
- The Landscape Contractor shall review architectural/engineering plans to become thoroughly familiar with surface and subsurface utilities.
- The Landscape Contractor shall coordinate with the lighting and irrigation contractors regarding the timing of the installation of plant material.
- Every possible safeguard shall be taken to protect building surfaces, equipment and furnishings. Landscape Contractor shall be responsible for any damage or injury to person or property which may occur as a result of his negligence in the execution of work.

### IRRIGATION NOTE

Irrigation Plan will be provided at time of the Final Development Plan.

### LANDSCAPE DEVELOPMENT NOTES:

- PEDESTRIAN LEVEL LIGHTING TO BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
- DETAILED LANDSCAPE PLANS WITH PLANTING SCHEDULE TO BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
- DEVELOPER** RESPONSIBLE FOR INSTALLING LANDSCAPING IN THE FOLLOWING AREAS:
  - NORTH & SOUTH ENTRANCES
  - STREET "T" RIGHT-OF-WAY (FROM MCCORMICK RD. TO CELL TOWER)
  - PERIMETER WALL & BUFFER PLANTINGS
  - SOD ONLY IN PARK AREAS & RETENTION PONDS
- HOME BUILDER** RESPONSIBLE FOR INSTALLING ALL OTHER LANDSCAPING & IRRIGATION NOT OUTLINED ABOVE UPON COMPLETION OF EACH HOME/TOWNHOME OR AMENITY AREA.

### TREE PLANTING LEGEND

SYMBOL	KEY	QNTY.	COMMON/BOTANICAL NAME	SPECIFICATIONS/DESCRIPTION
☉	QV1	9	Live Oak <i>Quercus virginiana</i>	3 1/2" DBH, 12' - 14' Ht., 100 Gal. or B&B
☉	QV2	290	Live Oak <i>Quercus virginiana</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B
☉	MG	7	Southern Magnolia <i>Magnolia grandiflora</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B
☉	AR	45	Red Maple <i>Acer rubrum</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B
☉	TD	70	Bald Cypress <i>Taxodium distichum</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B
☉	LOT	289	Canopy Tree (Species to be Selected by Lot Owner: Live Oak, Magnolia, Red Maple or Elm Tree)	3" DBH, 10' - 12' Ht., 100 Gal. or B&B
☉	JV	59	Red Cedar <i>Juniperus virginiana</i>	3" DBH, 10' - 12' Ht., 100 Gal. or B&B
☉	IVN	37	Upright Yaupon Holly <i>Lagerstroemia indica</i>	3" Total DBH, Multi Trunk, 8' - 10' Ht., 100 Gal. or B&B
☉	LI	73	Crape Myrtle <i>Lagerstroemia indica</i>	3" Total DBH, Multi Trunk, 8' - 10' Ht., 100 Gal. or B&B

**NOTE:** Additional Details on Palms, Ornamentals, Shrubs & Groundcovers to be included on Final Development Plan

### PROPOSED TREE PLANTING INCHES

9 LIVE OAKS x 3.5" DBH =	31.5"
290 LIVE OAKS x 3" DBH =	870"
7 MAGNOLIAS x 3" DBH =	21"
45 RED MAPLES x 3" DBH =	135"
70 BALD CYPRESS x 3" DBH =	210"
289 LOT CANOPY TREES x 3" DBH =	867"
59 RED CEDARS x 3" DBH =	177"
37 YAUPON HOLLIES x 3" DBH =	111"
73 CRAPE MYRTLES x 3" DBH =	219"
<b>879 PROPOSED TREES =</b>	<b>2,641.5"</b>

## LANDSCAPE NOTES & DETAILS

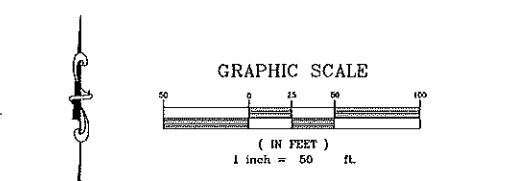
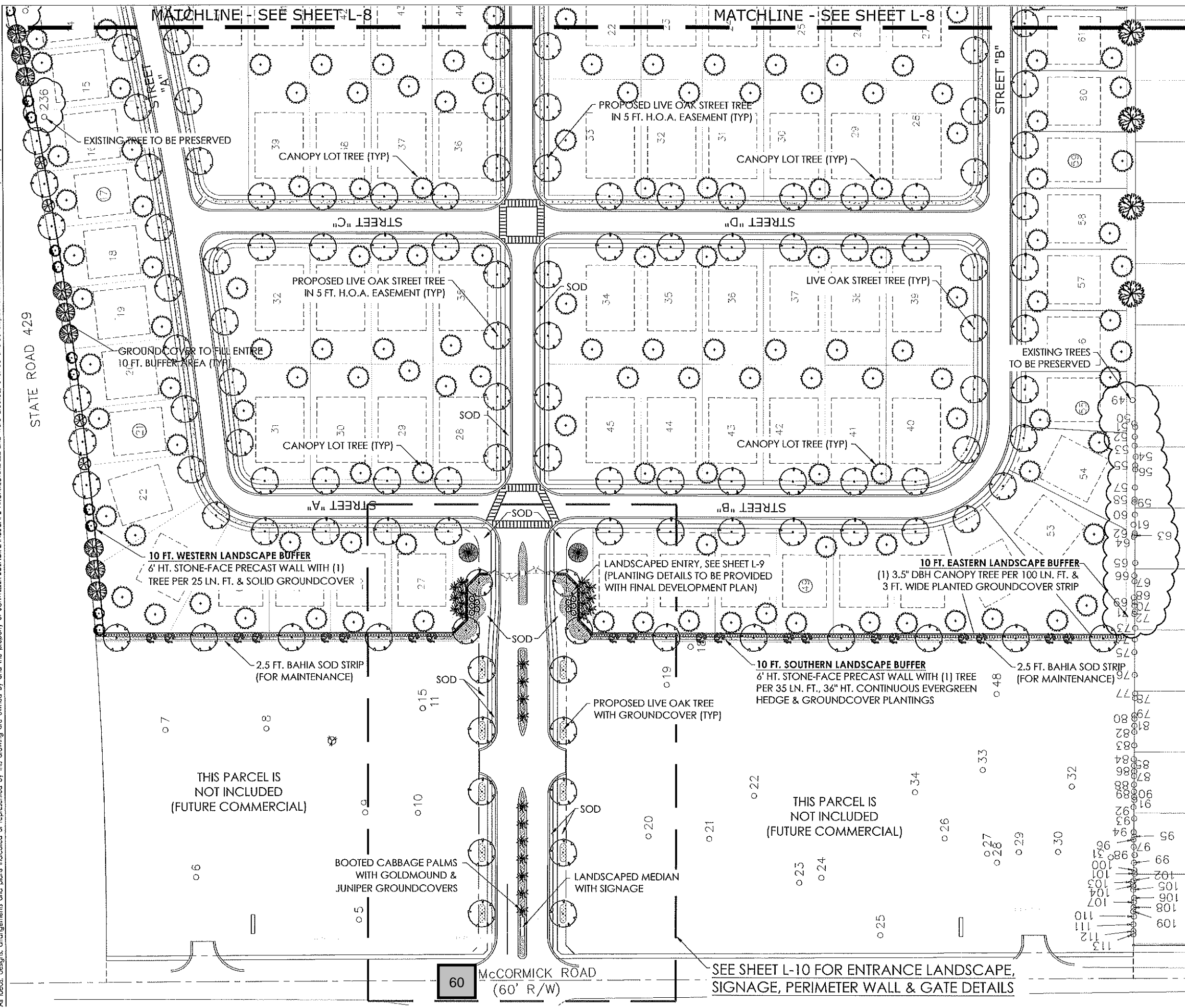
LANDSCAPE & IRRIGATION DESIGN

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# LANDSCAPE PLAN

(SEE SHEET L-6 FOR TREE PLANTING LEGEND)

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- 1/31/17

1-7



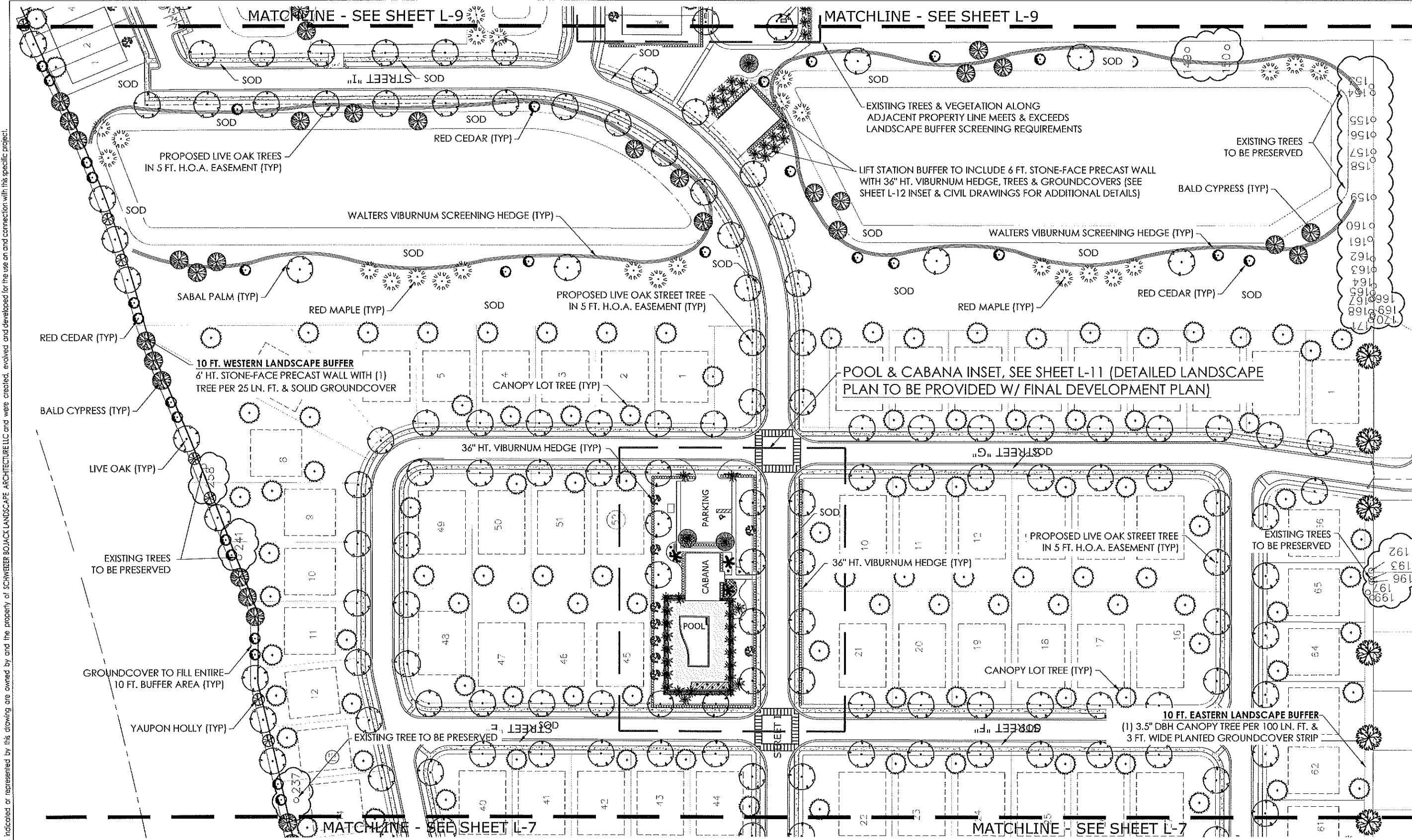
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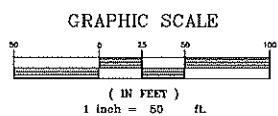
OAK POINTE - PUD / MASTER PLAN  
1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

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SHEET NUMBER  
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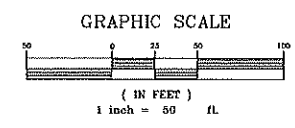
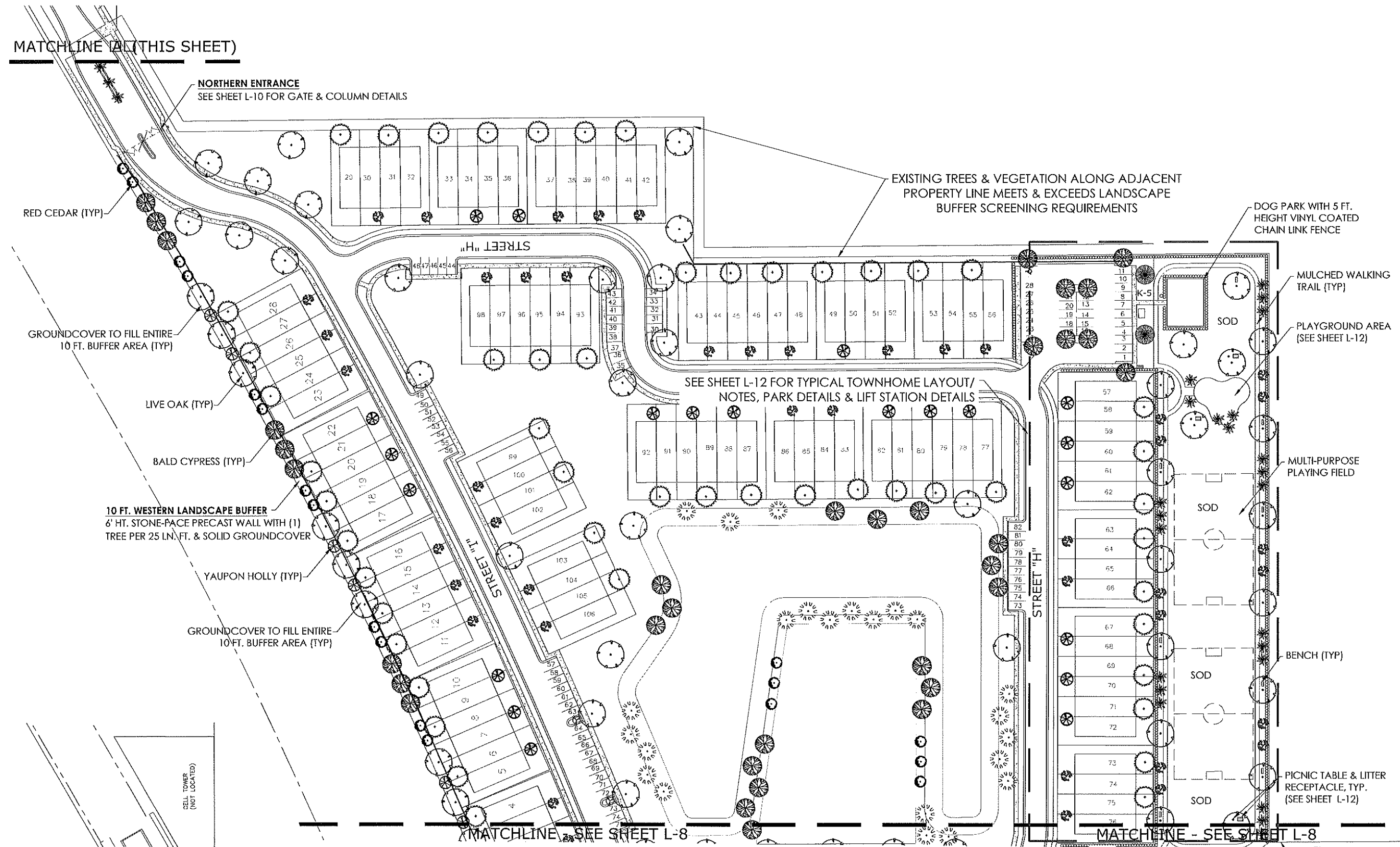
**LANDSCAPE PLAN**  
(SEE SHEET L-6 FOR TREE PLANTING LEGEND)

LANDSCAPE & IRRIGATION DESIGN

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**LANDSCAPE PLAN**

(SEE SHEET L-6 FOR TREE PLANTING LEGEND)

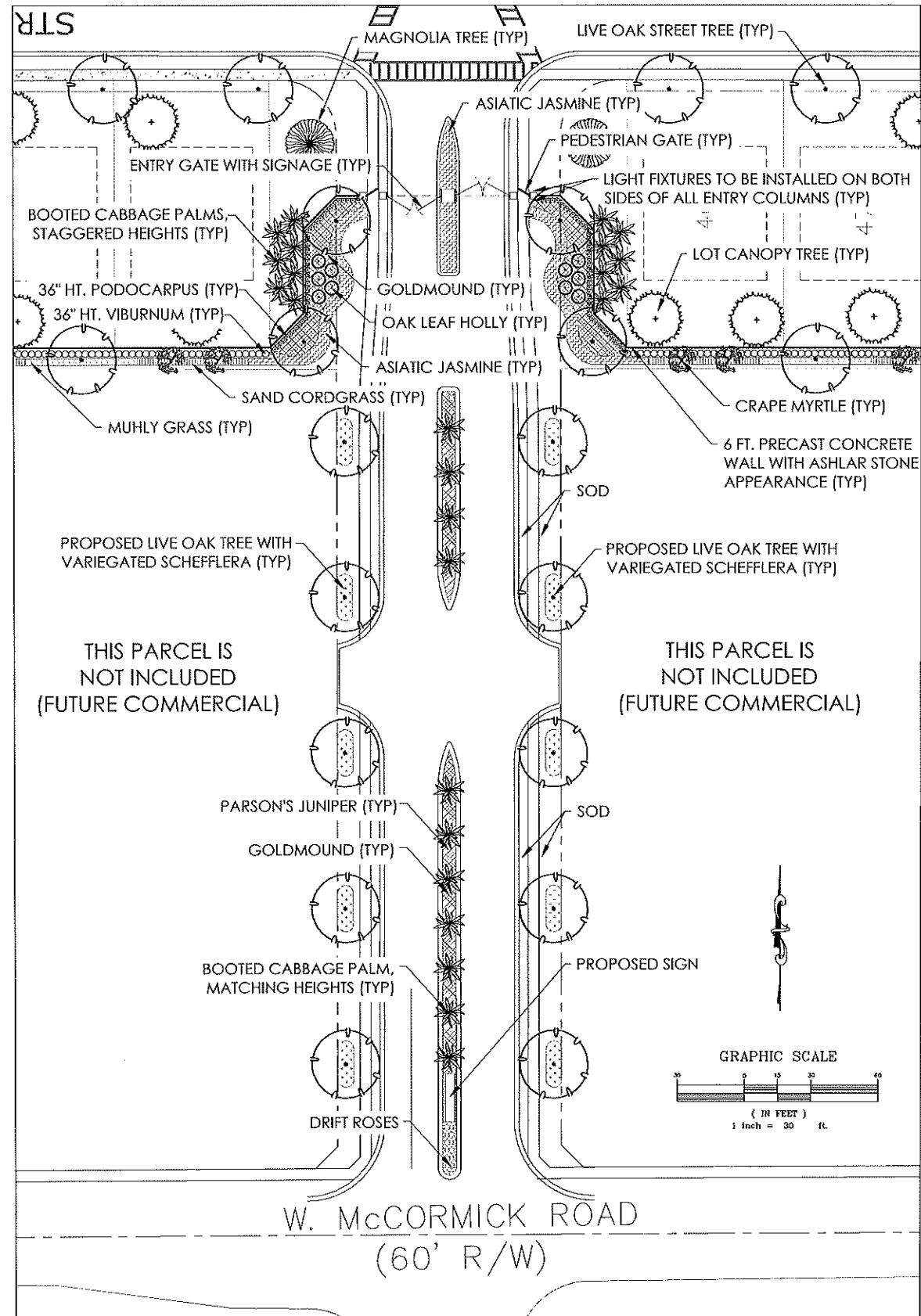
LANDSCAPE & IRRIGATION DESIGN

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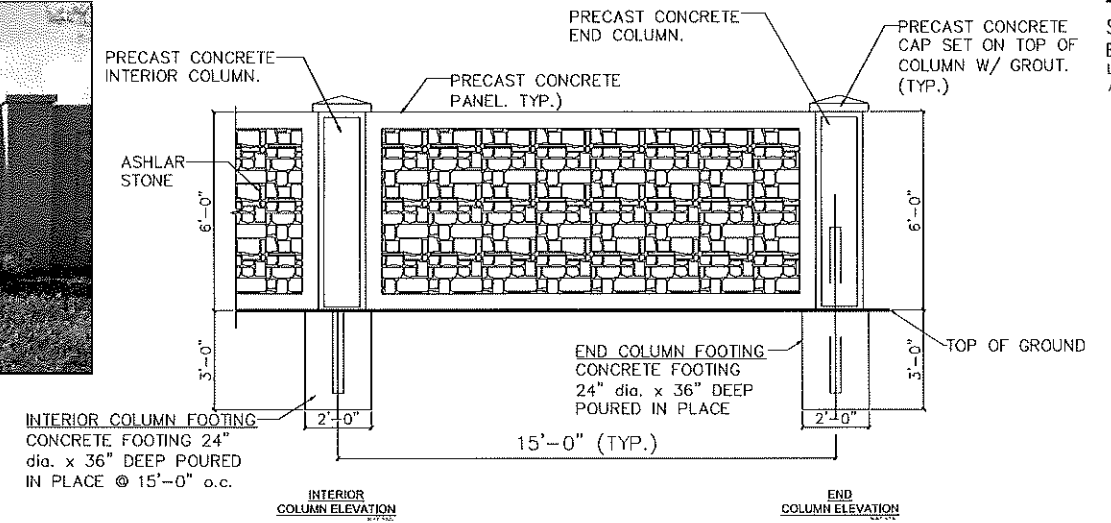
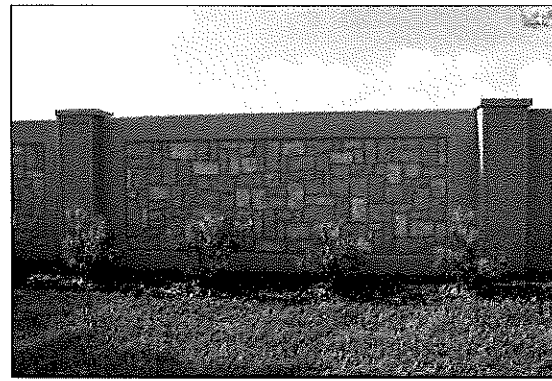
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**MATCHLINE (THIS SHEET)**

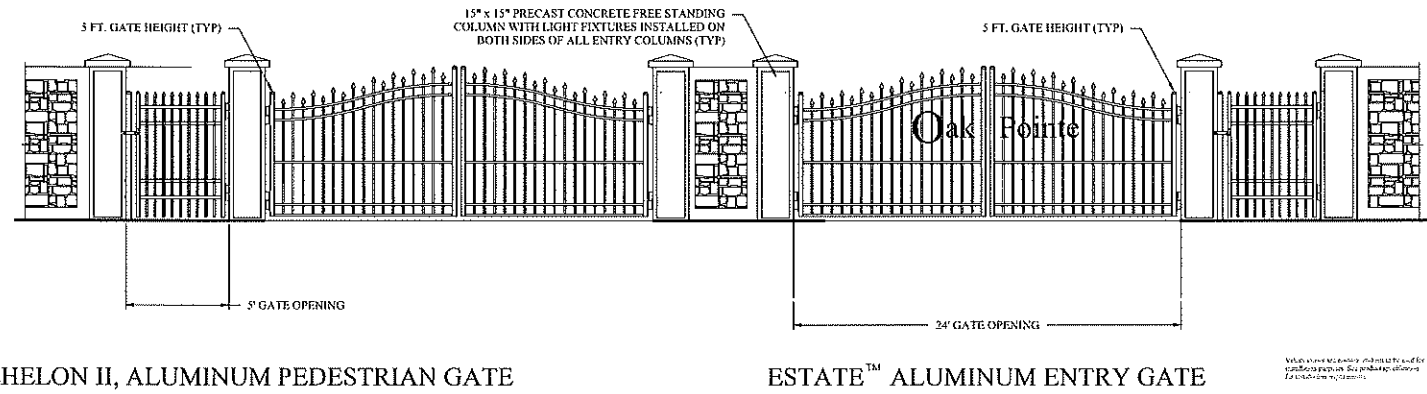
SOUTHERN ENTRANCE LANDSCAPE



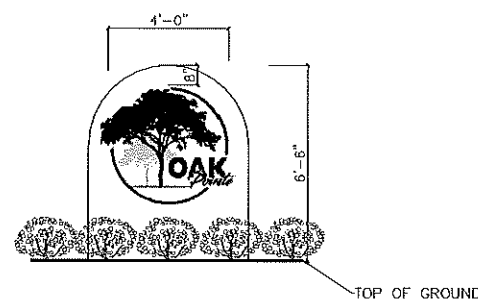
WALL DETAILS



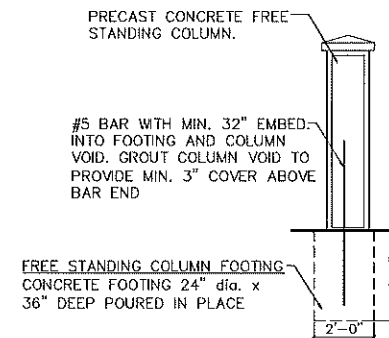
GATE ELEVATIONS (TYPICAL LAYOUT FOR NORTH & SOUTH ENTRIES)



SOUTH ENTRY SIGN ELEVATION



FREE STANDING COLUMN



ENTRANCE LANDSCAPE PLAN

LANDSCAPE & IRRIGATION DESIGN

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SCHWEIZER BOJACK LANDSCAPE ARCHITECTURE

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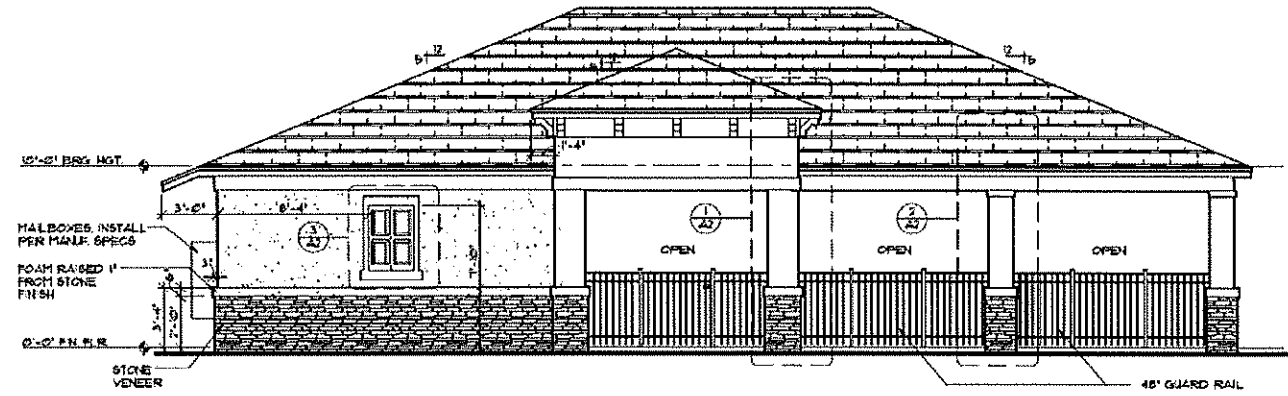
OAK POINTE - PUD / MASTER PLAN  
1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

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- 4 6/23/17
- 3 5/17/17
- 2 5/01/17
- 1 4/12/17
- 1/31/17

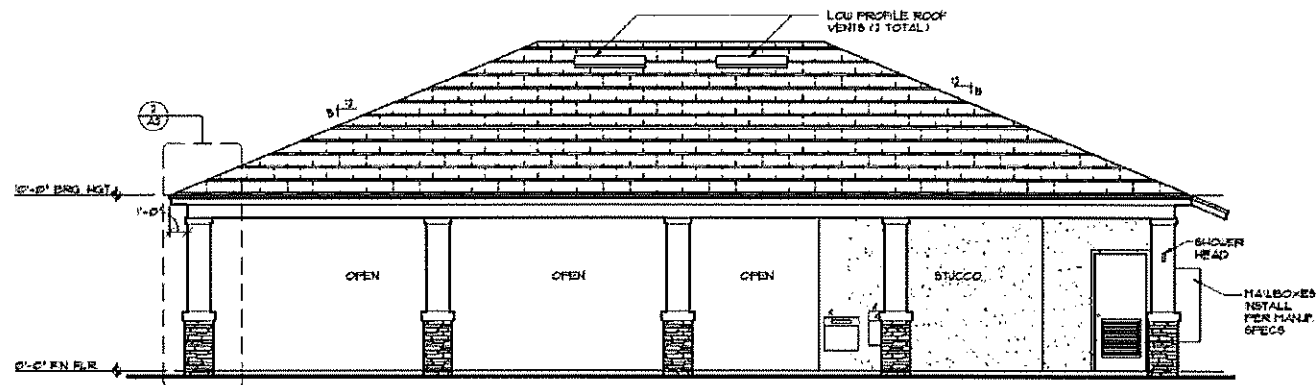
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L-10

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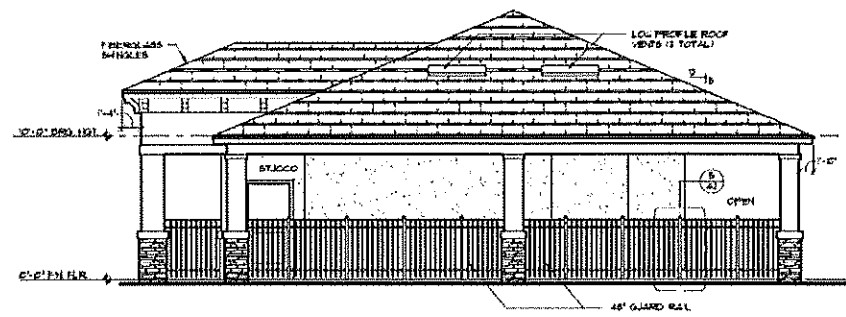
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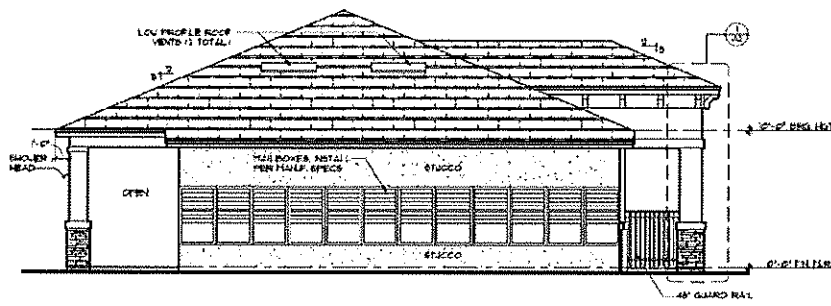
**FRONT ELEVATION**  
TEXTURED FINISH



**REAR ELEVATION**  
TEXTURED FINISH

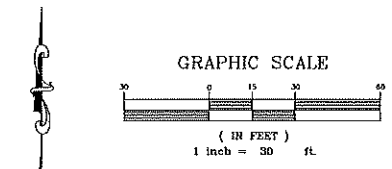
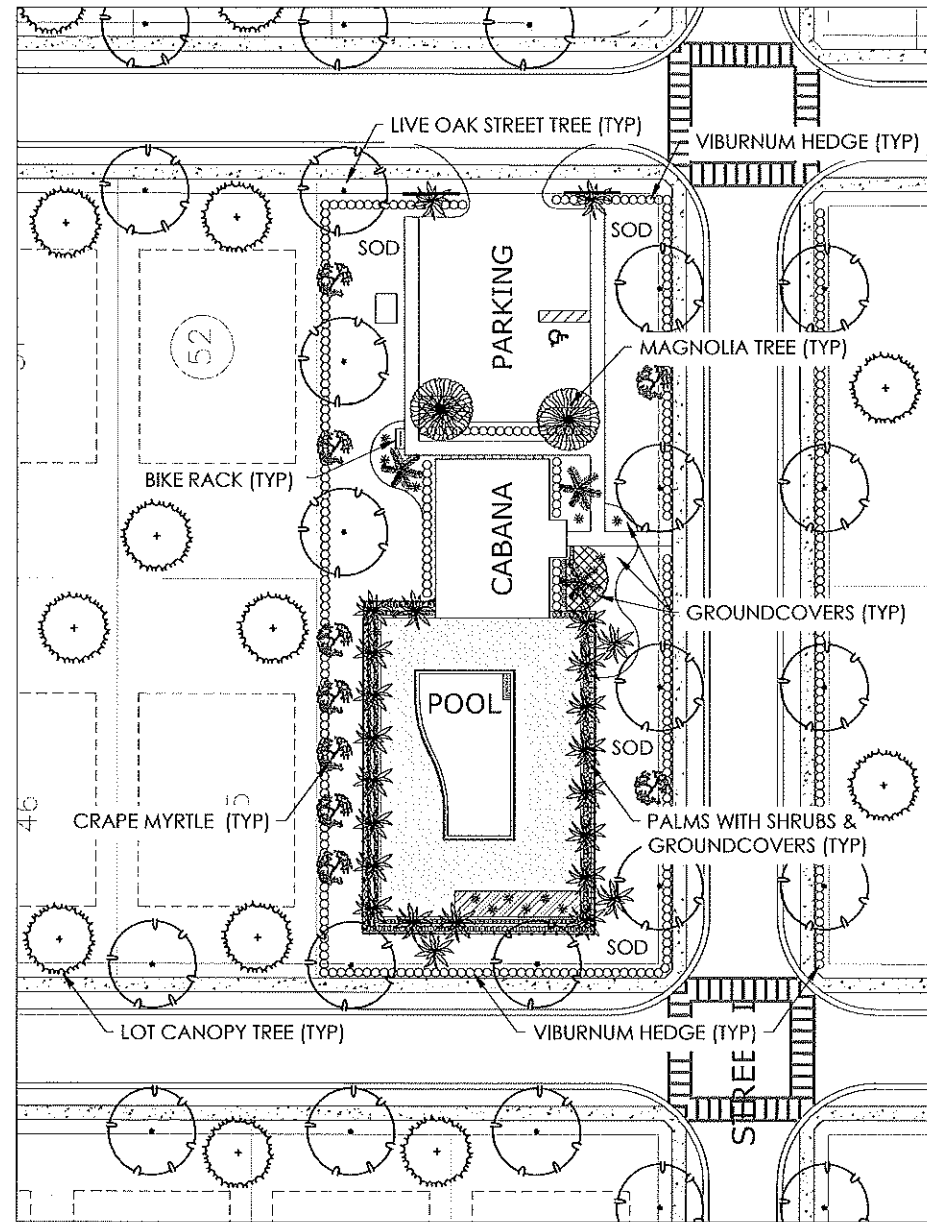


**RIGHT ELEVATION**  
TEXTURED FINISH



**LEFT ELEVATION**  
TEXTURED FINISH

**POOL & CABANA LANDSCAPE**



**POOL & CABANA LANDSCAPE PLAN**

LANDSCAPE & IRRIGATION DESIGN

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**OAK POINTE - PUD / MASTER PLAN**  
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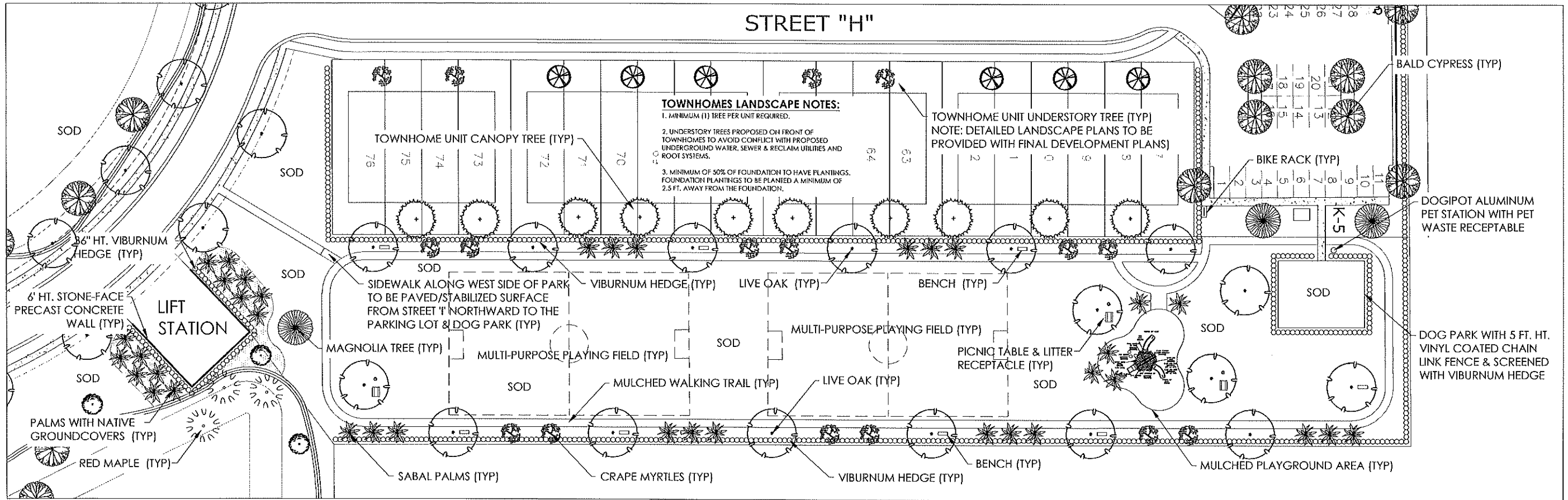
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SHEET NUMBER

**L-11**

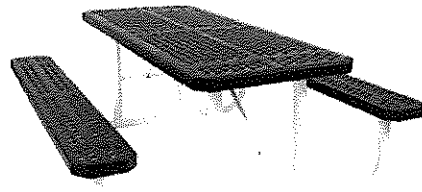


TOWNHOME, LIFT STATION & PARK

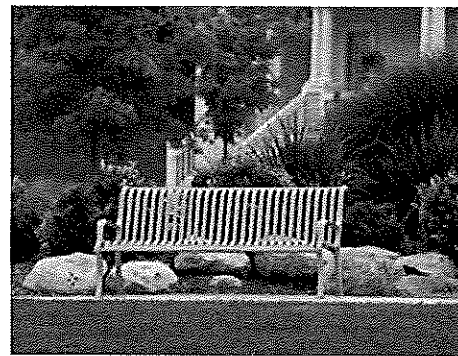
STREET "H"



(A) TUFFCLAD SERIES HEAVY DUTY PICNIC TABLE Model 28014, by Gametime



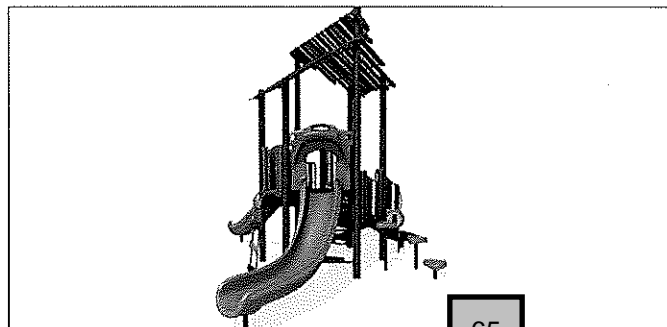
(B) ARLINGTON SERIES BENCH WITH ARMREST Model UF9106, by Gametime



(C) ARLINGTON SERIES LITTER RECEPTACLE Model UL9310 - 24" x 30", by Gametime

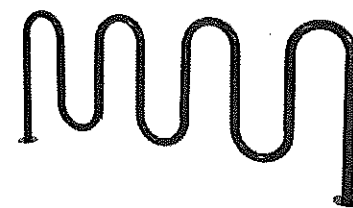


(D) CANYON CABIN PLAYGROUND Model PS16010, by PowerScope



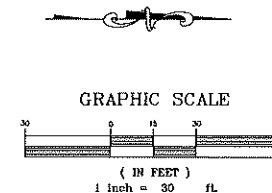
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(E) LOOP BICYCLE RACK Model 7700, by Gametime



PARK & AMENITY PLAN NOTES:

1. PEDESTRIAN LEVEL LIGHTING TO BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
2. DETAILED LANDSCAPE PLANS WITH ADDITIONAL GROUNDCOVERS TO BE PROVIDED WITH FINAL DEVELOPMENT PLANS.
3. SIDEWALK RUNNING ALONG WESTERN SIDE OF PARK SHALL BE PAVED/STABILIZED SURFACE FROM STREET "I" NORTHWARD TO THE PARKING LOT & DOG PARK TO ACCOMMODATE HANDICAP ACCESSIBILITY.



TOWNHOME, LIFT STATION & PARK  
 LANDSCAPE & AMENITIES PLAN

LANDSCAPE & IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ REG. NO. \_\_\_\_\_ DATE \_\_\_\_\_



SCHWEIZER  
 BO JACK  
 LANDSCAPE  
 ARCHITECTURE

LANDSCAPE & IRRIGATION DESIGN  
 PO BOX 94888 • APOPKA, FLORIDA 32714 • PH: (407) 374-1423  
 LICENSE NO. LC2620467 • DESIGN@SCHWEIZERBOJACK.COM

OAK POINTE - PUD / MASTER PLAN  
 1527 W. MCCORMICK ROAD - CITY OF APOPKA, FL 32703

- 5/7/21/17
- 6/23/17
- 5/17/17
- 5/01/17
- 4/12/17
- 1/31/17

DRAWN BY: KB  
 SHEET NUMBER  
**L-12**

All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and the property of SCHWEIZER BOJACK LANDSCAPE ARCHITECTURE LLC and were created, evaluated and developed for the use on and connection with this specific project.

Express  
HOMES



Elevation - "C"



Elevation - "D"

**The Aria**  
3 Bedroom / 2 Bath / 2 Car Garage  
1,672 Square Feet

Express  
HOMES



Elevation - "C"



Elevation - "D"

**The Cali**  
3-4 Bedroom / 2 Bath / 2 Car Garage  
1,828 Square Feet

Express  
HOMES



Elevation - "C"



Elevation - "D"

**The Arden**  
4 Bedroom / 2.5 Bath / 2 Car Garage  
1,969 Square Feet

Express  
HOMES



Elevation - "C"



Elevation - "D"

**The Flora**  
4 Bedroom / 2.5 Bath / 2 Car Garage  
2,264 Square Feet

Express  
HOMES



Elevation - "C"



Elevation - "D"

**The Galen**  
4 Bedroom / 2.5 Bath / 2 Car Garage  
2,432 Square Feet

Express  
HOMES



Elevation - "C"



Elevation - "D"

**The Hayden**  
5 Bedroom / 3 Bath / 2 Car Garage  
2,601 Square Feet

DATE	REVISIONS	BY
4-26-17	1 REV PER DRC COMMENTS	TVW/MWK
6-26-17	2 REV PER DRC COMMENTS	MPG

EVANS ENGINEERING, INC.  
CERTIFICATE OF AUTHORIZATION NO. 6786  
DAVID L. EVANS  
FLORIDA P.E. NO. 46516  
DATE: JUL 26, 2017

**EVANS ENGINEERING, INC.**  
LAND PLANNING PERMITTING SERVICES  
CIVIL ENGINEERING  
719 IRMA AVENUE 32803  
ORLANDO, FLORIDA  
(407) 872-1515  
www.evansenginc.com  
CERTIFICATE OF AUTHORIZATION NO. 00006786

OAK POINTE  
FOR  
THOMPSON HILLS ESTATES LLC  
FLORIDA  
CITY OF APOPKA.

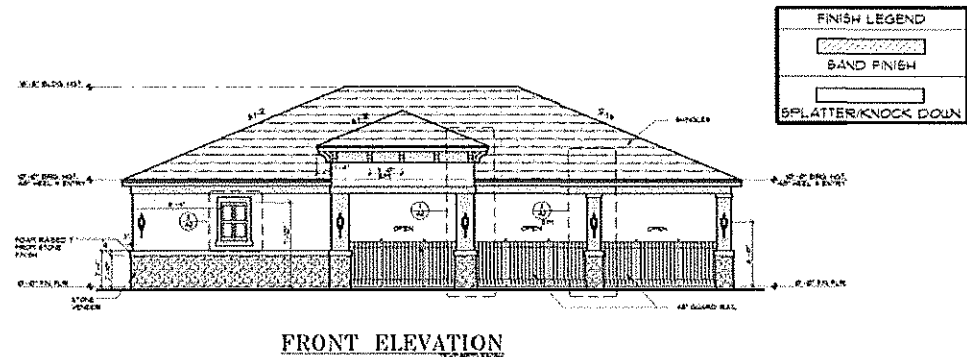
PRELIMINARY  
DEVELOPMENT PLAN  
ARCHITECTURAL  
ELEVATIONS

DRAWN:  
TVW / MWK  
CHECKED:  
MPG  
DATE:  
JULY 2017  
SCALE:  
NTS  
JOB #:  
25801  
SHEET #:

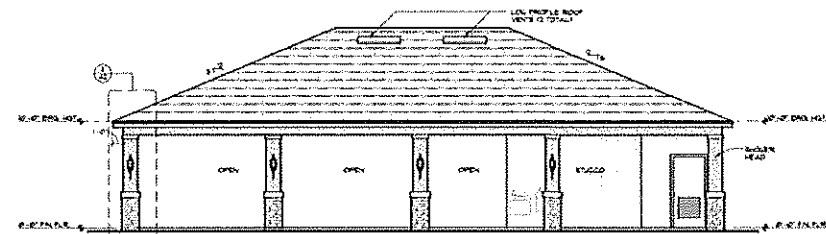
**A1**  
OF SHEETS

J:\2017\25801 - Oak Pointe\25801\25801\_15\_2017.dwg - PLOT - 11/26/2017 10:30:00 AM - 84108 by mgc

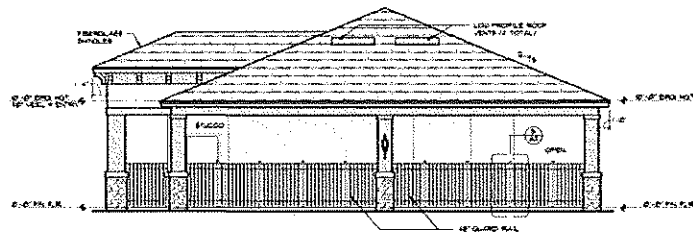




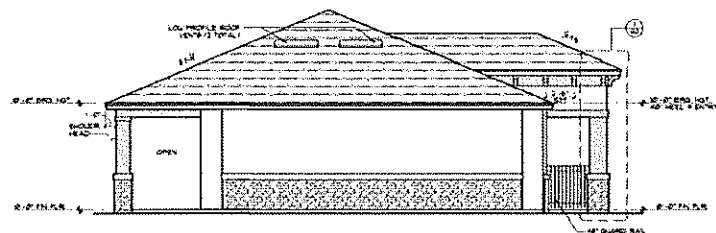
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

POOL CABANA



**HOLLY**  
 3 Bedroom | 2.5 Bath  
 1-Car Garage  
 1,530 Sq. Ft.

TOWNHOUSES



**KELSEY**  
 3 Bedroom | 2.5 Bath  
 1-Car Garage  
 1,674 Sq. Ft.

TOWNHOUSES

DATE	REVISIONS	BY
4-20-17	REV PER DRC COMMENTS	TVW/MWK
6-16-17	REV PER DRC COMMENTS	MPG

EVANS ENGINEERING, INC.  
 CERTIFICATE OF AUTHORIZATION NO. 0788  
 SANDY L. EVANS  
 FLORIDA P.E. NO. 46886  
 DATE: Jul 26, 2017

**EVANS ENGINEERING, INC.**  
 LAND PLANNING PERMITTING SERVICES  
 719 IRMA AVENUE  
 ORLANDO, FLORIDA 32803  
 (407) 872-1515  
 WWW.EVANSENGINEERING.COM  
 CERTIFICATE OF AUTHORIZATION NO. 00089788

OAK POINTE  
 FOR  
 THOMPSON HILLS ESTATES LLC  
 CITY OF APOPKA, FLORIDA

PRELIMINARY DEVELOPMENT PLAN  
 ARCHITECTURAL ELEVATIONS

DRAWN: TVW / MWK  
 CHECKED: MPG  
 DATE: JULY 2017  
 SCALE: NTS  
 JOB #: 25801  
 SHEET #:

A:\2016\25801 - Oak Pointe\Drawings\03 - Prelim Elev. - Jul 26, 2017 - 4:58pm by mwk

**Backup material for agenda item:**

3. 2017-2 ADMINISTRATIVE REZONING – Case No. 2017-2-1 - Owned by Richard Chandler, from “County” A-1 (ZIP) to “City” R-1AAA (Residential), for property located west of North Rock Springs Road, south of West Kelly Park Road. (Parcel ID #s: 18-20-28-0000-00-030; 18-20-28-0000-00-063)



## CITY OF APOPKA PLANNING COMMISSION

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<p><input checked="" type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> SITE PLAN <input type="checkbox"/> SPECIAL REPORTS <input type="checkbox"/> OTHER: 2017-2 Administrative Rezoning</p>	<p>MEETING OF: August 8, 2017 FROM: Community Development EXHIBITS: Zoning Report Vicinity Map Adjacent Zoning Adjacent Uses Existing Uses</p>
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**SUBJECT:** RICHARD CHANDLER (CASE # 2017-2-1)  
**Parcel ID #(s):** 18-20-28-0000-00-030; 18-20-28-0000-00-063  
**REQUEST:** ADMINISTRATIVE REZONING  
**FROM:** "COUNTY" A-1 (ZIP)  
**TO:** "CITY" R-1AAA (RESIDENTIAL)

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**SUMMARY:**

OWNER: Richard Chandler  
APPLICANT: City of Apopka  
LOCATION: West of North Rock Springs Road, south of West Kelly Park Road  
FUTURE LAND USE: Residential Very Low Suburban (0 - 2 du/acres)  
ZONING: A-1 (ZIP)  
PROPOSED ZONING: R-1AAA  
EXISTING USE: Residential Single-Family Home  
PROPOSED DEVELOPMENT: Residential single-family home (existing)  
MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING ZONING: 1 residential Unit  
PROPOSED ZONING: 1 residential Unit  
TRACT SIZE: 5.118 +/- Acres

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**FUNDING SOURCE:**

N/A

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**DISTRIBUTION**

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police <span style="border: 1px solid black; padding: 2px;">70</span>	Fire Chief

**ADDITIONAL COMMENTS:** Policy 3.9 of the Apopka Comprehensive Plan 2030 requires that a “city” zoning classification be assigned to annexed properties. The subject property was annexed into the City of Apopka. Staff is requesting an administrative rezoning for the subject property to comply with the policy set forth in the Comprehensive Plan. The proposed city zoning category is comparable to the densities and intensities and uses allowed under the existing “county” zoning classification, and the proposed zoning change is compatible with the character of the surrounding area.

The subject property is located in an area characterized as single-family and agricultural in nature, with “City” R-1AAA zoning to the north, south, and west of the subject property, and PUD to the east of the site. The existing and proposed use of the subject site for a residential building is a permitted use in the proposed R-1AAA zoning district and compatible with the surrounding zoning and uses.

Staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

**COMPREHENSIVE PLAN COMPLIANCE:** The proposed zoning classification is consistent with the Future Land Use Designation assigned to the property.

**SCHOOL CAPACITY REPORT:** The request of the proposed rezoning would result in a number of residential units considered ‘de minimus’ and, therefore, a school capacity determination is not required for the subject properties.

**JOINT PLANNING AREA/OVERLAY:** The subject property is located within the “Northern Area” of the Joint Planning Area with Orange County. The subject properties are not located within any other city overall or protection area.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on July 7, 2017.

**PROPERTY OWNER NOTIFICATION:** The property owner was notified of this administrative rezoning and public hearing dates at least thirty (30) days prior to the adoption public hearing.

**PUBLIC HEARING SCHEDULE:**

August 8, 2017 – Planning Commission (5:30 pm)  
September 6, 2017 – City Council (1:30 pm) – 1st Reading  
September 20, 2017 – City Council (7:00 pm) – 2<sup>nd</sup> Reading

**DULY ADVERTISED:**

July 21, 2017 – Public Notice and Notification  
September 8, 2017 – Ordinance Heading Ad

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**RECOMMENDATION ACTION:**

The **Development Review Committee** finds the change in zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding area, recommending approval of the change in Zoning from “County” A-1 (ZIP) to “City” R-1AAA.

**Recommended Motion:** Find the change in zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change in Zoning from “County” A-1 (ZIP) to “City” R-1AAA for the Chandler Richard property.

**Note:** This item is considered quasi-judicial. **T** **ff** report and its findings are to be incorporated into and made a part of the minutes of this mee

**ZONING REPORT**

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Very Low Suburban (0-2 du/ac)	R-1AAA	Orchid Estates Subdivision
East (City)	Residential Estates (1 du/ ac)	PUD	Rock Springs Ridge Subdivision
South (City)	Residential Very Low Suburban (0-2 du/ac)	R-1AAA	vacant
West (City)	Residential Very Low Suburban (0-2 du/ac)	R-1AAA	Orchid Estates Subdivision

**LAND USE &**

**TRAFFIC COMPATIBILITY:** The subject property fronts and is accessed by a local roadway (Jason Dwelley Pkwy). It is similar in nature to the surrounding agricultural and residential areas, and there should be no impact on traffic.

**COMPREHENSIVE  
 PLAN COMPLIANCE:**

The proposed R-1AAA zoning is consistent with the City’s Residential Very Low Suburban Future Land Use designation and with the character of the surrounding area and future proposed development. The R-1AAA zoning classification is one of the acceptable zoning categories allowed within the Residential Very Low Suburban Future Land Use category. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

**AG DISTRICT  
 REQUIREMENTS:**

- Minimum Living Area: 1,800 sq. ft. (Single-family)
- Minimum Site Area: 16,000 sq. ft.
- Minimum Lot Width NA
- Setbacks: Front: 25 ft.
- Rear: 20 ft.
- Side: 10 ft.
- Corner 25 ft.

Based on the above zoning standards, the subject site complies with code requirements for the R-1AAA district.

**BUFFERYARD  
 REQUIREMENTS:**

1. Developments shall provide a minimum six-foot high brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard. Landscape materials shall be placed adjacent to the right-of-way, on the exterior of the buffer wall. The city may allow the developer the option to provide up to 50 percent of the buffer wall length in a six-foot wrought iron fence between solid columns. The columns shall be a minimum of 32 feet off-set and shall have a stone, brick or decorative block finish. Where wrought iron is used, additional landscape materials and irrigation may be required. The [redacted] will be determined by the city on a case-by-case basis.



2. Areas adjacent to agricultural districts or activities shall provide a minimum five-foot buffer yard and a minimum six-foot high brick, stone or decorative block finished wall unless acceptable alternatives are submitted for approval.

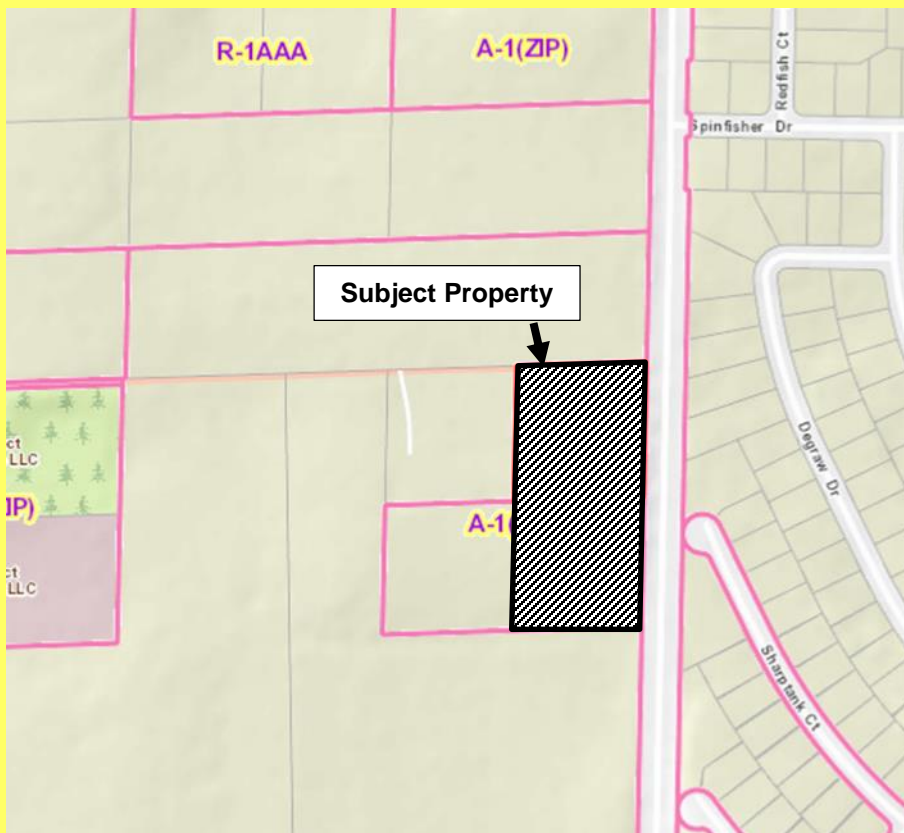
**ALLOWABLE USES:**

Single-family dwellings and their customary accessory structures and uses in accordance with article VII of this code. Supporting infrastructure and public facilities of less than five acres as defined in this code and in accordance with section 2.02.01.



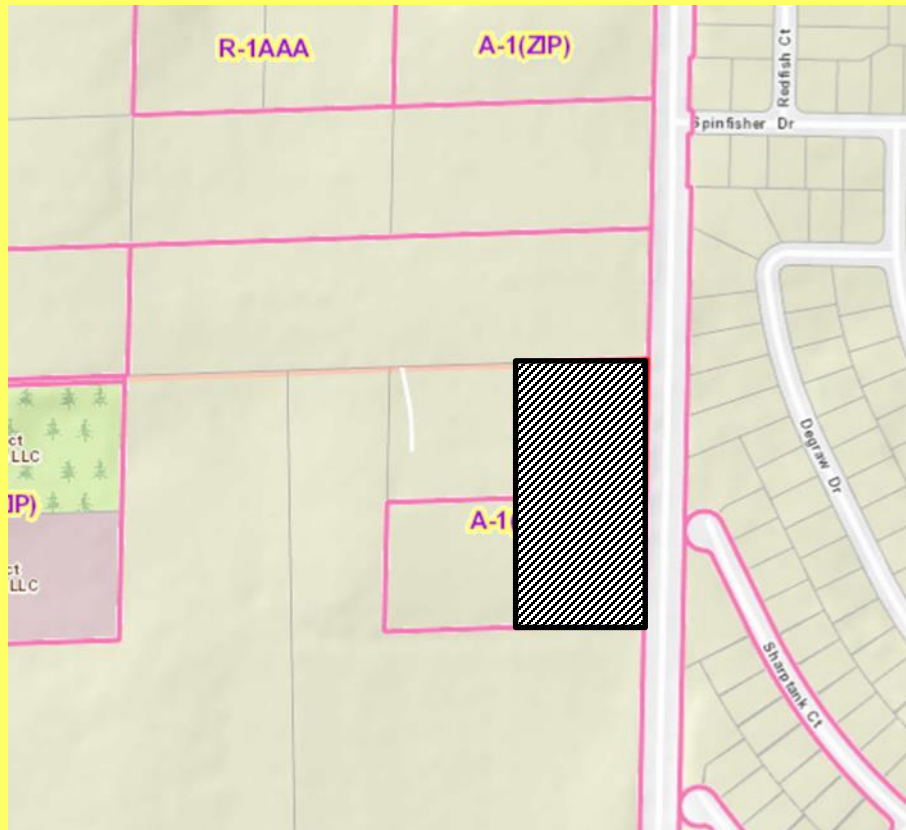
Richard Chandler  
2.619 +/- Acres & 2.499 +/- Acres  
Proposed Zoning Change:  
From: "County" A-1 (ZIP) (Agriculture)  
To: "City" R-1AAA (Residential)  
Parcel ID #: 18-20-28-0000-00-030 & 18-20-28-0000-00-063

### VICINITY MAP



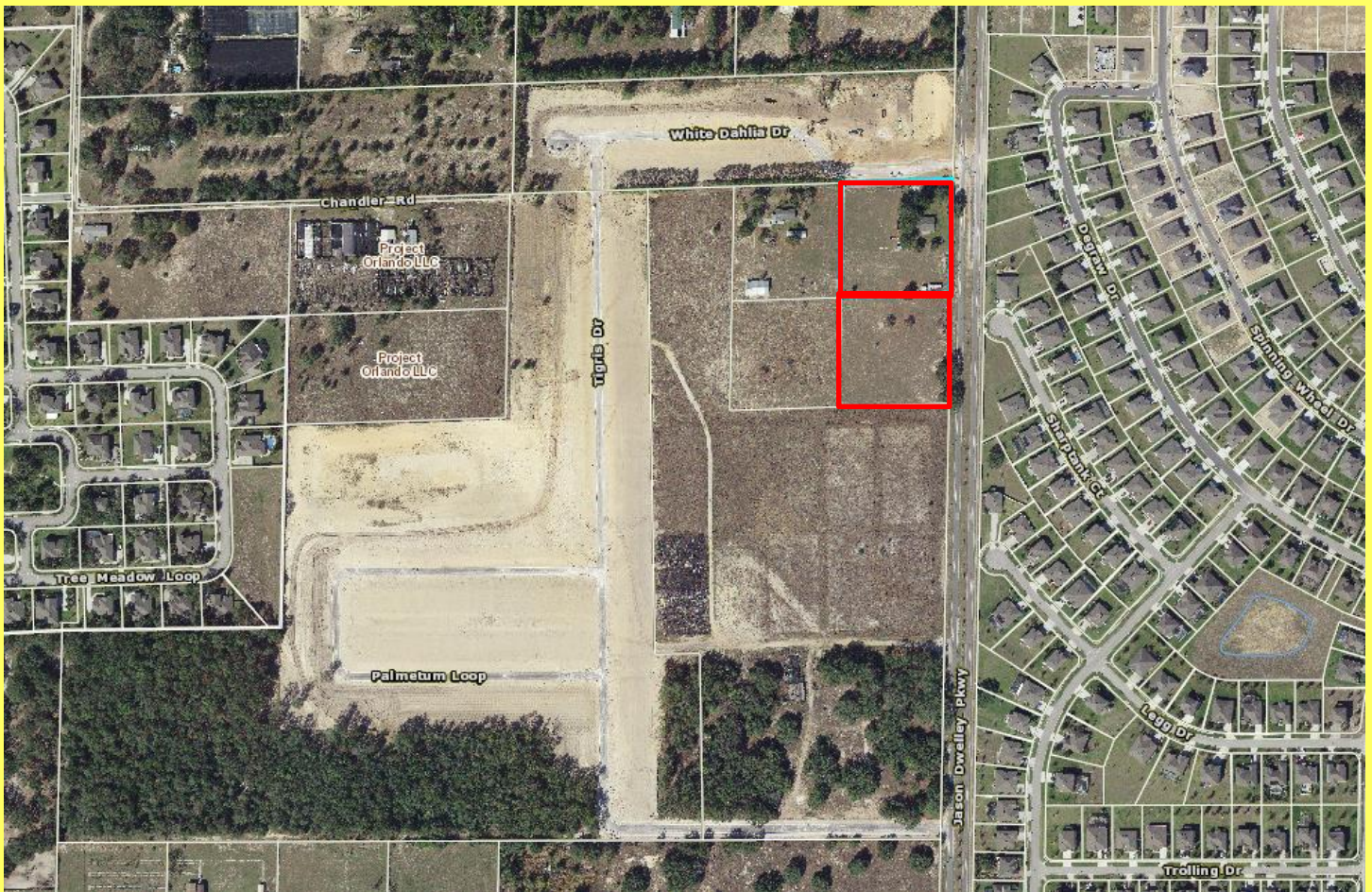


### ADJACENT ZONING



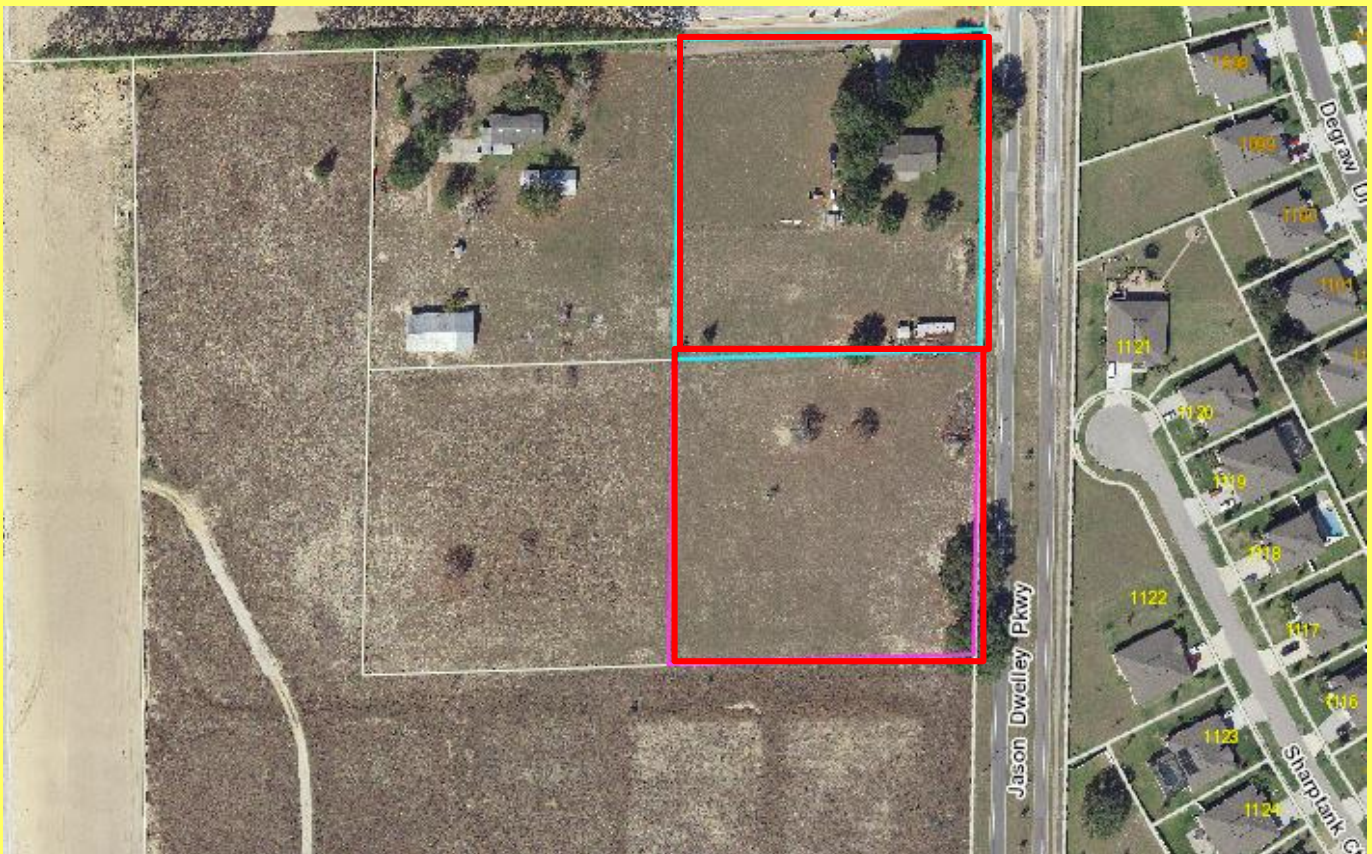


### ADJACENT USES



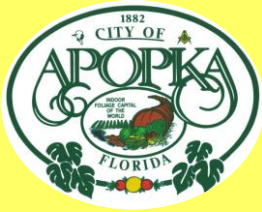


**EXISTING  
USES**



**Backup material for agenda item:**

4. 2017-2 ADMINISTRATIVE REZONING – Case No. 2017-2-2 - Owned by Bobby and Jessica Sanders, from “County” A-1 (ZIP) to “City” R-1AAA (Residential), for property located west of North Rock Springs Road, south of West Kelly Park Road. (Parcel ID #: 18-20-28-0000-00-129)



# CITY OF APOPKA PLANNING COMMISSION

- PUBLIC HEARING
- SITE PLAN
- SPECIAL REPORTS
- OTHER: 2017-2 Administrative Rezoning

MEETING OF: August 8, 2017  
 FROM: Community Development  
 EXHIBITS: Zoning Report  
 Vicinity Map  
 Adjacent Zoning Map  
 Adjacent Uses Map  
 Existing Uses

**SUBJECT:** SANDERS PARCEL REZONING (CASE # 2017-2-2)  
**PARCEL ID #(S):** 18-20-28-0000-00-129  
**REQUEST:** ADMINISTRATIVE REZONING  
**FROM:** "COUNTY" A-1 (ZIP)  
**TO:** "CITY" R-1AAA (RESIDENTIAL)

**SUMMARY:**

OWNERS: Bobby and Jessica Sanders  
 APPLICANT: City of Apopka  
 LOCATION: West of North Rock Springs Road, south of West Kelly Park Road  
 FUTURE LAND USE: Residential Very Low Suburban (0 - 2 du/acres)  
 ZONING: A-1 (ZIP)  
 PROPOSED ZONING: R-1AAA  
 EXISTING USE: Vacant  
 PROPOSED DEVELOPMENT: Vacant (existing)  
 MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING ZONING: 1 residential Unit  
 PROPOSED ZONING: 1 residential Unit  
 TRACT SIZE: 2.501 +/- Acres

**FUNDING SOURCE:**

N/A

**DISTRIBUTION**

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

**ADDITIONAL COMMENTS:** Policy 3.9 of the Apopka Comprehensive Plan 2030 requires that a “city” zoning classification be assigned to annexed properties. The subject property was annexed into the City of Apopka. Staff is requesting an administrative rezoning for the subject property to comply with the policy set forth in the Comprehensive Plan. The proposed city zoning category is comparable to the densities and intensities and uses allowed under the existing “county” zoning classification, and the proposed zoning change is compatible with the character of the surrounding area.

The subject property is located in an area characterized as single-family and agricultural in nature, with “City” R-1AAA zoning to the north, south, and west of the subject property, and vacant, A-1 (ZIP) to the east of the site. The existing and proposed use of the subject site for a residential building is a permitted use in the proposed R-1AAA zoning district and compatible with the surrounding zoning and uses.

Staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

**COMPREHENSIVE PLAN COMPLIANCE:** The proposed zoning classification is consistent with the Future Land Use Designation assigned to the property.

**SCHOOL CAPACITY REPORT:** The request of the proposed rezoning would result in a number of residential units considered ‘de minimus’ and, therefore, a school capacity determination is not required for the subject properties.

**JOINT PLANNING AREA/OVERLAY:** The subject property is located within the “Northern Area” of the Joint Planning Area with Orange County. The subject properties are not located within any other city overall or protection area.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on July 7, 2017.

**PROPERTY OWNER NOTIFICATION:** The property owner was notified of this administrative rezoning and public hearing dates at least thirty (30) days prior to the adoption public hearing.

**PUBLIC HEARING SCHEDULE:**

August 8, 2017 – Planning Commission (5:30 pm)  
September 6, 2017 – City Council (1:30 pm) – 1st Reading  
September 20, 2017 – City Council (7:00 pm) – 2<sup>nd</sup> Reading

**DULY ADVERTISED:**

July 21, 2017 – Public Notice and Notification  
September 8, 2017 – Ordinance Heading Ad

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**RECOMMENDATION ACTION:**

The **Development Review Committee** finds the change in zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding area, recommending approval of the change in Zoning from “County” A-1 (ZIP) to “City” R-1AAA.

**Recommended Motion:** Find the change in zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change in Zoning from “County” A-1 (ZIP) to “City” R-1AAA for the Sanders property.

**Note:** This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



**ZONING REPORT**

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Estates (1 du/ac)	R-1AAA	Residential
East (City)	Residential Estates (1 du/ ac)	A-1(ZIP)	vacant
South (City)	Residential Very Low Suburban (0-2 du/ac)	R-1AAA	vacant
West (City)	Residential Very Low Suburban (0-2 du/ac)	R-1AAA	Orchid Estates Subdivision

**LAND USE &**

**TRAFFIC COMPATIBILITY:** The subject property fronts and is accessed by an adjacent property to the north and connects to Jason Dwelley Parkway, a city collector road.. It is similar in nature to the surrounding agricultural and residential areas, and there should be no additional impact on traffic.

**COMPREHENSIVE  
 PLAN COMPLIANCE:**

The proposed R-1AAA zoning is consistent with the City’s Residential Very Low Suburban Future Land Use designation and with the character of the surrounding area and future proposed development. The R-1AAA zoning classification is one of the acceptable zoning categories allowed within the Residential Very Low Suburban Future Land Use category. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

**AG DISTRICT  
 REQUIREMENTS:**

- Minimum Living Area: 1,800 sq. ft. (Single-family)
- Minimum Site Area: 16,000 sq. ft.
- Minimum Lot Width NA
- Setbacks: Front: 25 ft.
- Rear: 20 ft.
- Side: 10 ft.
- Corner 25 ft.

Based on the above zoning standards, the subject site complies with code requirements for the R-1AAA district.

**BUFFERYARD  
 REQUIREMENTS:**

1.Developments shall provide a minimum six-foot high brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard. Landscape materials shall be placed adjacent to the right-of-way, on the exterior of the buffer wall. The city may allow the developer the option to provide up to 50 percent of the buffer wall length in a six-foot wrought iron fence between solid columns. The columns shall be a minimum of 32 feet off-set and shall have a stone, brick or decorative block finish. Where wrought iron is used, additional landscape materials and irrigation may be required. This will be determined by [redacted] on a case-by-case basis.

2. Areas adjacent to agricultural districts or activities shall provide a minimum five-foot buffer yard and a minimum six-foot high brick, stone or decorative block finished wall unless acceptable alternatives are submitted for approval.

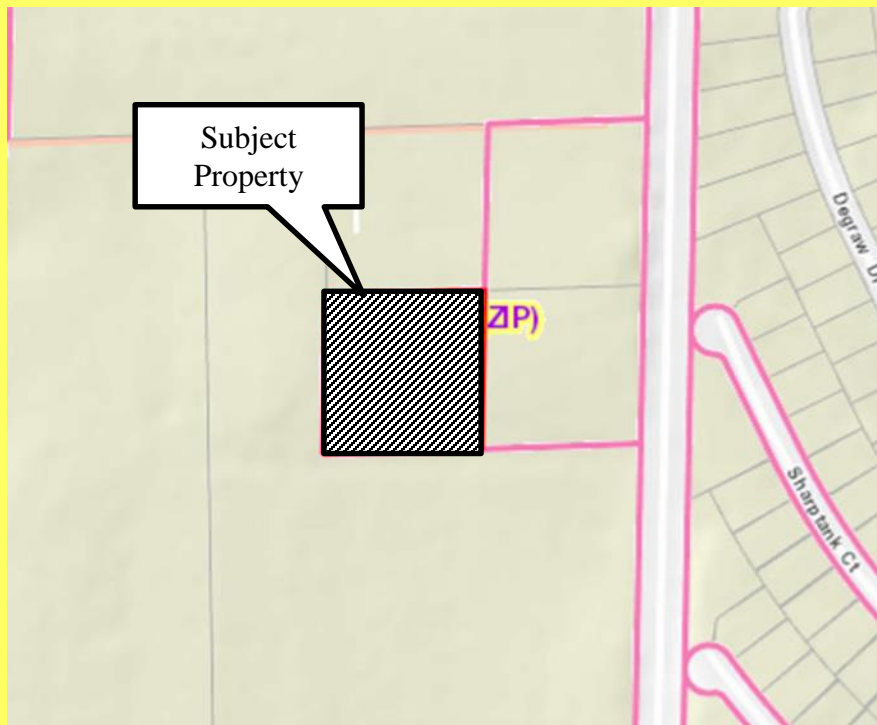
**ALLOWABLE USES:**

Single-family dwellings and their customary accessory structures and uses in accordance with article VII of this code. Supporting infrastructure and public facilities of less than five acres as defined in this code and in accordance with section 2.02.01.



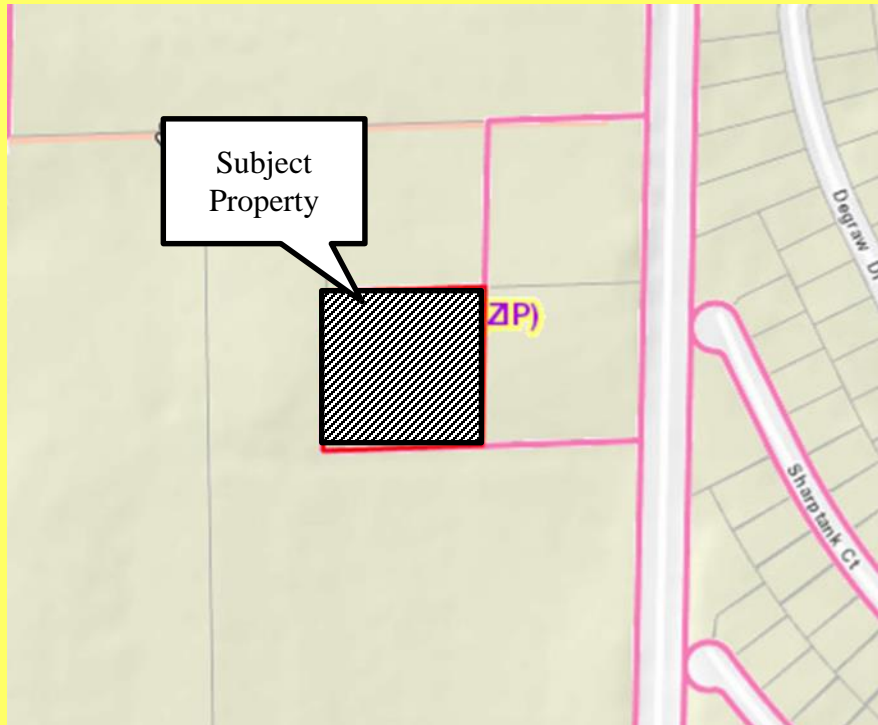
**Sanders Bobby/Jessica**  
**2.501 +/- Acres**  
**Proposed Zoning Change:**  
**From: “County” A-1 (ZIP) (Agriculture)**  
**To: “City” R-1AAA (Residential)**  
**Parcel ID #: 18-20-28-0000-00-129**

**VICINITY MAP**





### ADJACENT ZONING





### ADJACENT USES



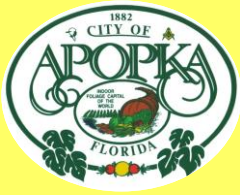


**EXISTING  
USES**



**Backup material for agenda item:**

5. 2017-2 ADMINISTRATIVE REZONING – Case No. 2017-2-3 - Owned by Jolly Products and Services, from “County” A-1 (ZIP) to “City” AG (Agriculture), for property located east of Round Lake Road, north of West Kelly Park Road. (Parcel ID #: 11-20-27-0000-00-052)



# CITY OF APOPKA PLANNING COMMISSION

- PUBLIC HEARING
- SITE PLAN
- SPECIAL REPORTS
- OTHER: 2017-2 Administrative Rezoning

MEETING OF: August 8, 2017  
 FROM: Community Development  
 EXHIBITS: Zoning Report  
 Vicinity Map  
 Adjacent Zoning  
 Adjacent Uses  
 Existing Uses

**SUBJECT: JOLLY PRODUCTS AND SERVICES (CASE # 2017-2-3)**

**PARCEL ID #(S): 11-20-27-0000-00-052**

**REQUEST: ADMINISTRATIVE REZONING**  
**FROM: "COUNTY" A-1 (ZIP)**  
**TO: "CITY" AG (AGRICULTURE)**

**SUMMARY:**

OWNER: Jolly Products and Services

APPLICANT: City of Apopka

LOCATION: East of Round Lake Road, north of West Kelly Park Road

FUTURE LAND USE: Rural Settlement (0 - 2 du/acres)

ZONING: A-1 (ZIP)

PROPOSED ZONING: AG (Agriculture)

EXISTING USE: Round Lake Road Nursery

PROPOSED DEVELOPMENT: Nursery (existing)

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING ZONING: 1 Nonresidential Unit  
 PROPOSED ZONING: 1 Nonresidential Unit

TRACT SIZE: 6.86 +/- Acres

**FUNDING SOURCE:**

N/A

**DISTRIBUTION**

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Director	Fire Chief



**ADDITIONAL COMMENTS:** Policy 3.9 of the Apopka Comprehensive Plan 2030 requires that a “city” zoning classification be assigned to annexed properties. The subject property was annexed into the City of Apopka. Staff is requesting an administrative rezoning for the subject property to comply with the policy set forth in the Comprehensive Plan. The proposed city zoning category is comparable to the densities and intensities and uses allowed under the existing “county” zoning classification, and the proposed zoning change is compatible with the character of the surrounding area.

The subject property is located in an area characterized as single-family and agricultural in nature, with “City” A-1 (ZIP) zoning to the east and south of the subject property, and “County” A-1 to the west and north. The existing and proposed use of the subject site for a nonresidential building is a permitted use in the proposed AG zoning district and compatible with the surrounding zoning and uses.

Staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

**COMPREHENSIVE PLAN COMPLIANCE:** The proposed zoning classification is consistent with the Future Land Use Designation assigned to the property.

**SCHOOL CAPACITY REPORT:** The request of the proposed rezoning would result in no residential units, therefore, a school capacity determination is not required for the subject properties.

**JOINT PLANNING AREA/OVERLAY:** The subject property is located within the “Northern Area” of the Joint Planning Area with Orange County. The subject properties are not located within any other city overall or protection area.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on July 7, 2017.

**PROPERTY OWNER NOTIFICATION:** The property owner was notified of this administrative rezoning and public hearing dates at least thirty (30) days prior to the adoption public hearing.

**PUBLIC HEARING SCHEDULE:**

August 8, 2017 – Planning Commission (5:30 pm)  
September 6, 2017 – City Council (1:30 pm) – 1st Reading  
September 20, 2017 – City Council (7:00 pm) – 2<sup>nd</sup> Reading

**DULY ADVERTISED:**

July 21, 2017 – Public Notice and Notification  
September 8, 2017 – Ordinance Heading Ad

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**RECOMMENDATION ACTION:**

The **Development Review Committee** finds the change in zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding area, recommending approval of the change in Zoning from “County” A-1 (ZIP) to “City” AG.

**Recommended Motion:** Find the change in zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change in Zoning from “County” A-1 (ZIP) to “City” AG for the Jolly Products and Services property.

**Note:** This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

**ZONING REPORT**

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Rural (1 du/10 acres)	A-1	Single-Family home
East (City)	Mixed Use	A-1(ZIP)	vacant
South (City)	Rural Settlement (0 – 1 du/5 acres)	A-1(ZIP)	nursery
West (County)	Rural (1 du/10 acres)	A-1	vacant

**LAND USE &**

**TRAFFIC COMPATIBILITY:** The subject property fronts and is accessed by a local roadway (Round Lake Rd). It is similar in nature to the surrounding agricultural and residential areas, and there should be no impact on traffic.

**COMPREHENSIVE  
 PLAN COMPLIANCE:**

The proposed AG zoning is consistent with the City’s Rural Settlement Future Land Use designation and with the character of the surrounding area and future proposed development. The AG zoning classification is one of the acceptable zoning categories allowed within the Rural Settlement Future Land Use category. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

**AG DISTRICT  
 REQUIREMENTS:**

- Minimum Living Area: 1,200 sq. ft. (Single-family)
- Minimum Site Area: 5 acres
- Minimum Lot Width NA
- Setbacks: Front: 25 ft.
- Rear: 25 ft.
- Side: 25 ft.
- Corner 25 ft.

Based on the above zoning standards, the subject site complies with code requirements for the AG district.

**BUFFERYARD  
 REQUIREMENTS:**

Uses including, but not limited to, kennels, livestock barn stables, and other similar uses shall be a minimum of 100 feet from all property lines. Apiaries shall be located 200 feet from any property line. All other yard setbacks shall be a minimum of 25 feet from the property line.

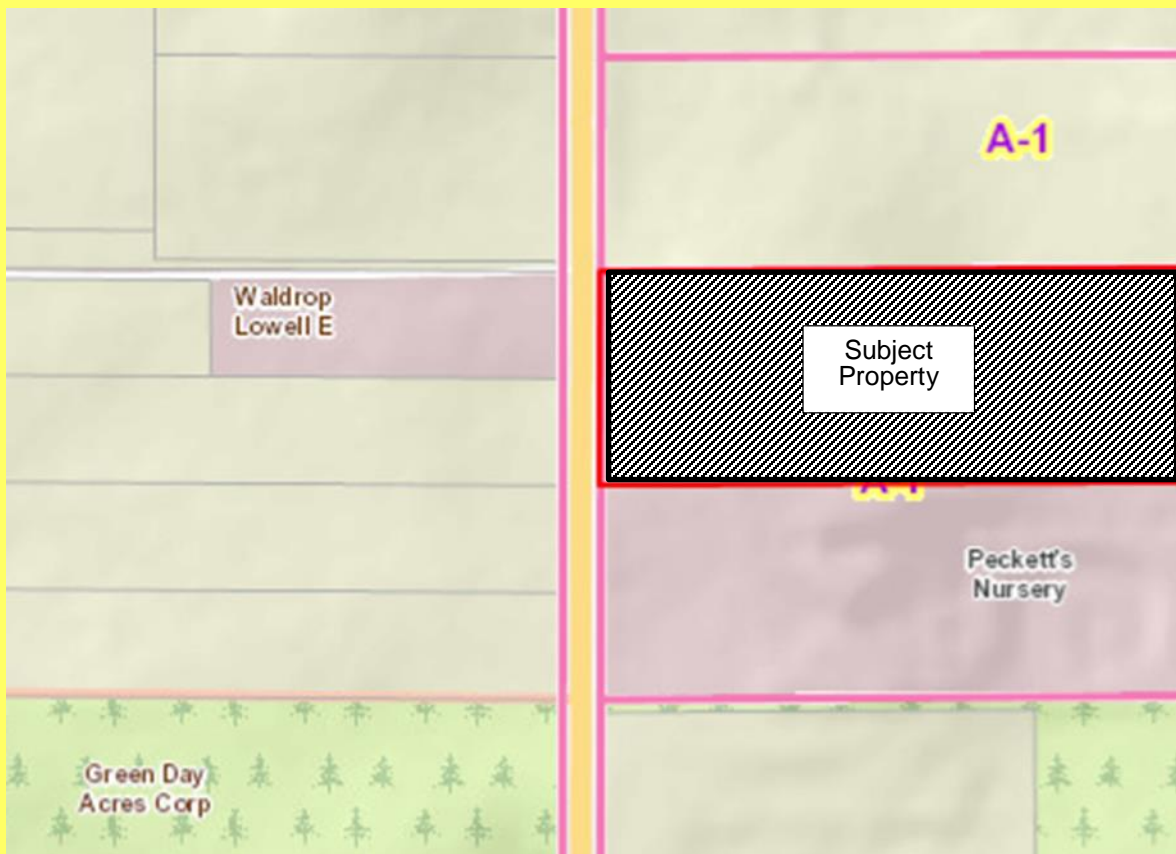
**ALLOWABLE USES:**

1. Office building and accessory buildings in conjunction with commercial agriculture uses for packing, shipping, and storage purposes.
2. Commercial wholesale foliage plant production nursery.
3. Tenant dwellings, for year-round employees, on the basis of one dwelling unit for each five acres of land, provided such dwellings are accessory to the principal use of land.
4. Livestock barns and stables.
5. Crops and animal production and the buildings and structures necessary to support such production.
6. Kennels.
7. Single-family dwellings, including mobile homes, and their customary accessory structures and uses in accordance with article VII of this Code.
8. Apiaries.



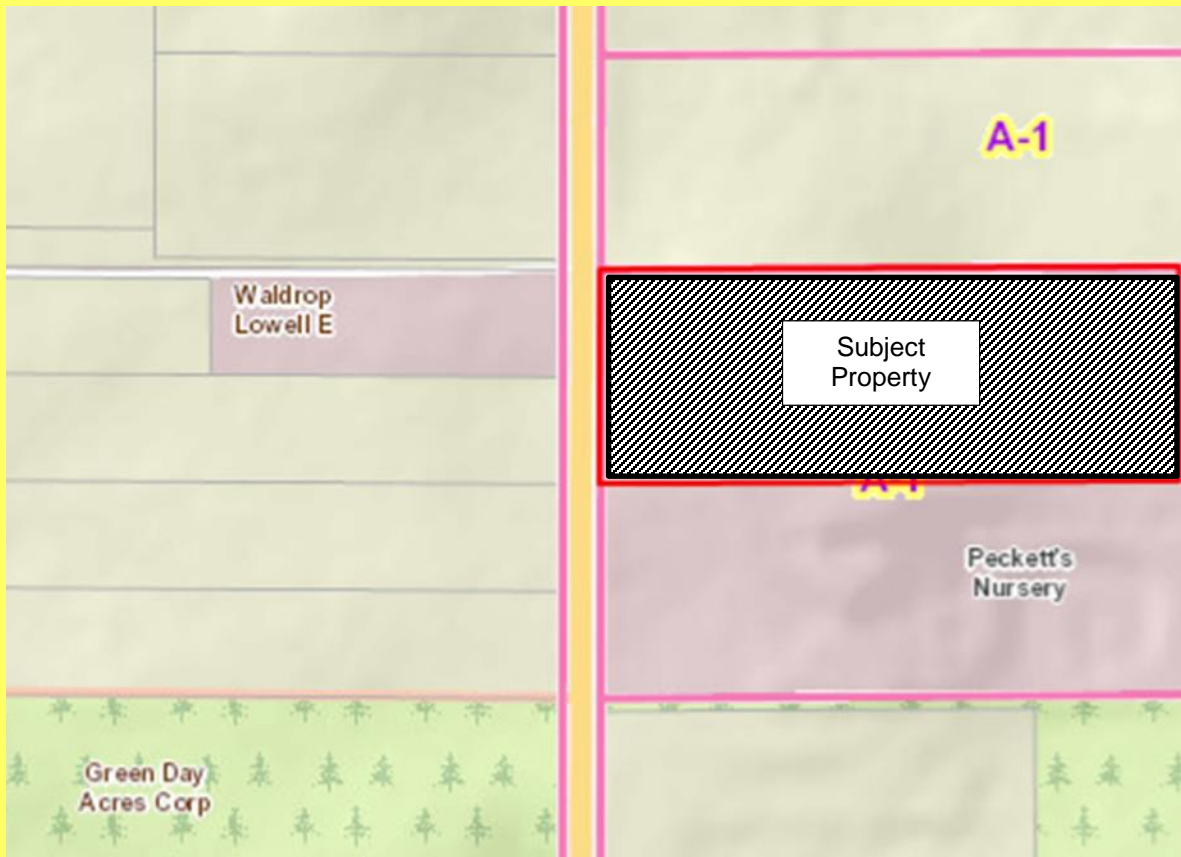
**Jolly Products and Services**  
**6.86 +/- Acres**  
**Proposed Zoning Change:**  
**From: “County” A-1 (ZIP) (Agriculture)**  
**To: “City” AG (Agriculture)**  
**Parcel ID #: 11-20-27-0000-00-052**

**VICINITY MAP**



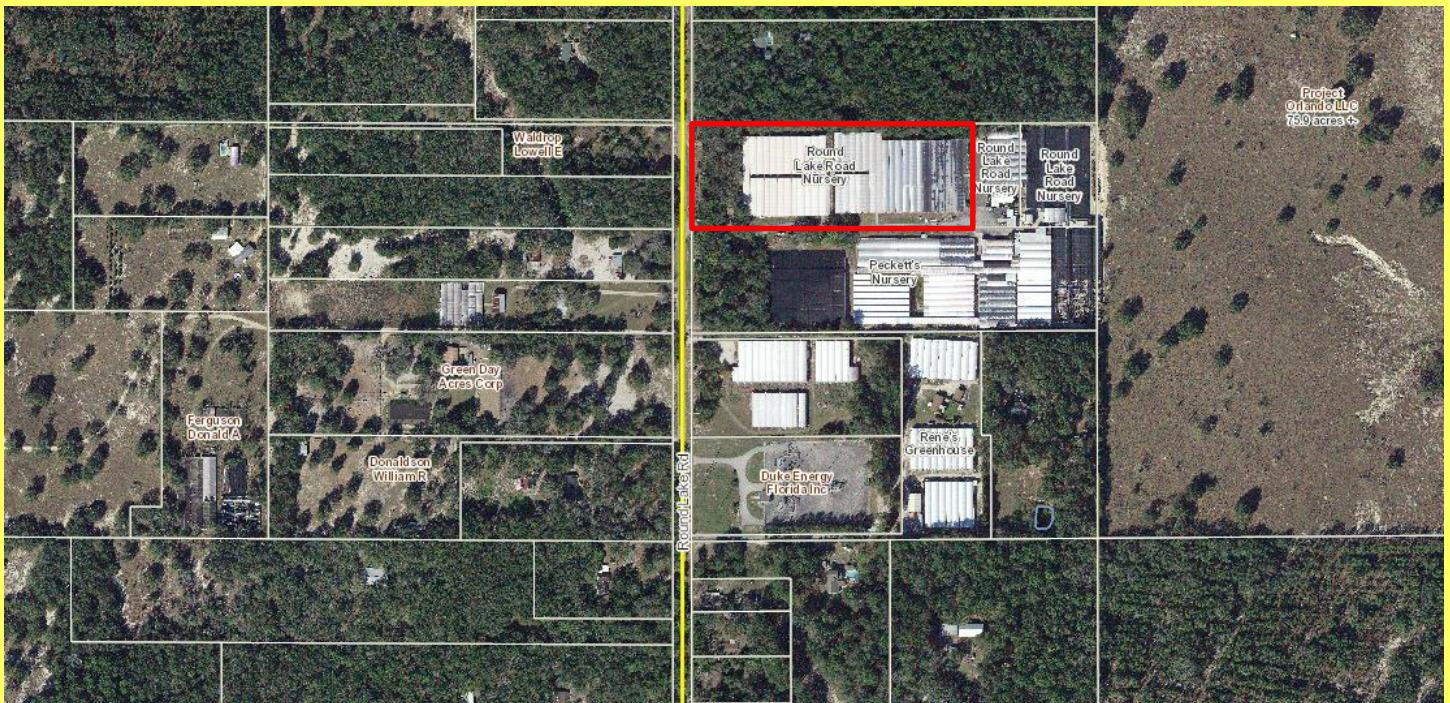


### ADJACENT ZONING





### ADJACENT USES





### EXISTING USES



**Backup material for agenda item:**

6. 2017-2 ADMINISTRATIVE REZONING – Case No. 2017-2-4 - Owned by Edgel LLC, from “County” A-1 (ZIP) to “City” AG (Agriculture), for property located east of North Rock Springs Road, south of East Ponkan Road. (Parcel ID #: 27-20-28-0000-00-061)





## CITY OF APOPKA PLANNING COMMISSION

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<p><input checked="" type="checkbox"/> PUBLIC HEARING <input type="checkbox"/> SITE PLAN <input type="checkbox"/> SPECIAL REPORTS <input checked="" type="checkbox"/> OTHER: 2017-2 Administrative Rezoning</p>	<p>MEETING OF: August 8, 2017 FROM: Community Development EXHIBITS: Zoning Report Vicinity Map Adjacent Zoning Map Adjacent Uses Map Existing Uses</p>
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**SUBJECT: EDGEL LLC PARCEL REZONING (CASE # 2017-2-4)**

**PARCEL ID #(S): 27-20-28-0000-00-061**

**REQUEST: ADMINISTRATIVE REZONING  
FROM: "COUNTY" A-1 (ZIP)  
TO: "CITY" AG (AGRICULTURE)**

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**SUMMARY:**

OWNER: Edgel LLC

APPLICANT: City of Apopka

LOCATION: East of North Rock Springs Road, south of East Ponkan Road

FUTURE LAND USE: Agriculture (1 du/5 acres)

ZONING: A-2 (ZIP)

PROPOSED ZONING: AG (Agriculture)

EXISTING USE: Nursery\ Manufactured Home

PROPOSED DEVELOPMENT: Agriculture or residential

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING ZONING: 1 Nonresidential Unit  
PROPOSED ZONING: 1 Nonresidential Unit

TRACT SIZE: 4.95 +/- Acres

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**FUNDING SOURCE:**

N/A

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**DISTRIBUTION**

Mayor Kilsheimer  
Commissioners  
City Administrator  
Community Development Director

Finance Director  
HR Director  
IT Director  
Police

Public Services Director  
Recreation Director  
City Clerk  
Fire Chief

**ADDITIONAL COMMENTS:** Policy 3.9 of the Apopka Comprehensive Plan 2030 requires that a “city” zoning classification be assigned to annexed properties. The subject property was annexed into the City of Apopka. Staff is requesting an administrative rezoning for the subject property to comply with the policy set forth in the Comprehensive Plan. The proposed city zoning category is comparable to the densities and intensities and uses allowed under the existing “county” zoning classification, and the proposed zoning change is compatible with the character of the surrounding area.

The subject property is located in an area characterized as single-family and agricultural in nature, with “County” A-2 zoning to the east and north of the subject property, and “City” AG to the south and CN to the west. The existing and proposed use of the subject site for a nonresidential building is a permitted use in the proposed AG zoning district and compatible with the surrounding zoning and uses. This parcel is located in the Wekiva River Protection Area and north of Lester Road, and is limited to a maximum density of one unit per five acres pursuant to the Joint Planning Agreement with Orange County government.

Staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

**COMPREHENSIVE PLAN COMPLIANCE:** The proposed zoning classification is consistent with the Future Land Use Designation assigned to the property.

**SCHOOL CAPACITY REPORT:** The request of the proposed rezoning would result in no residential units, therefore, a school capacity determination is not required for the subject properties.

**JOINT PLANNING AREA/OVERLAY:** The subject property is located within the “Northern Central Area” of the Joint Planning Area with Orange County and the Wekiva River Protection Area.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on July 7, 2017.

**PROPERTY OWNER NOTIFICATION:** The property owner was notified of this administrative rezoning and public hearing dates at least thirty (30) days prior to the adoption public hearing.

**PUBLIC HEARING SCHEDULE:**

August 8, 2017 – Planning Commission (5:30 pm)  
September 6, 2017 – City Council (1:30 pm) – 1st Reading  
September 20, 2017 – City Council (7:00 pm) – 2<sup>nd</sup> Reading

**DULY ADVERTISED:**

July 21, 2017 – Public Notice and Notification  
September 8, 2017 – Ordinance Heading Ad

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**RECOMMENDATION ACTION:**

The **Development Review Committee** finds the change in zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding area, recommending approval of the change in Zoning from “County” A-1 (ZIP) to “City” AG.

**Recommended Motion:** Finds the change in zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change in Zoning from “County” A-1 (ZIP) to “City” AG for the Edgel parcel.

**Note:** This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

**ZONING REPORT**

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Rural Settlement (0-1 du/5 acres)	A-2	Vacant
East (County)	Rural Settlement (0-1 du/5 acres)	A-2	Single-family home
South (City)	AG (0 – 1 du/ 5 acre)	AG (Agriculture)	Warehouse
West (City)	Commercial	CN (Neighborhood Commercial)	Vacant

**LAND USE &**

**TRAFFIC COMPATIBILITY:** The subject property fronts and is accessed by a Minor Arterial roadway (N Rock Springs Rd). It is similar in nature to the surrounding agricultural and residential areas, and there should be no impact on traffic.

**COMPREHENSIVE  
 PLAN COMPLIANCE:**

The proposed AG zoning is consistent with the City’s Agriculture Future Land Use designation and with the character of the surrounding area and future proposed development. The AG zoning classification is one of the acceptable zoning categories allowed within the Agriculture Future Land Use category. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

**AG DISTRICT  
 REQUIREMENTS:**

- Minimum Living Area: 1,200 sq. ft. (Single-family)
- Minimum Site Area: 5 acres
- Minimum Lot Width NA
- Setbacks: Front: 25 ft.
- Rear: 25 ft.
- Side: 25 ft.
- Corner 25 ft.

Based on the above zoning standards, the subject site complies with code requirements for the AG district.

**BUFFERYARD  
 REQUIREMENTS:**

Uses including, but not limited to, kennels, livestock barn stables, and other similar uses shall be a minimum of 100 feet from all property lines. Apiaries shall be located 200 feet from any property line. All other yard setbacks shall be a minimum of 25 feet from the property line.

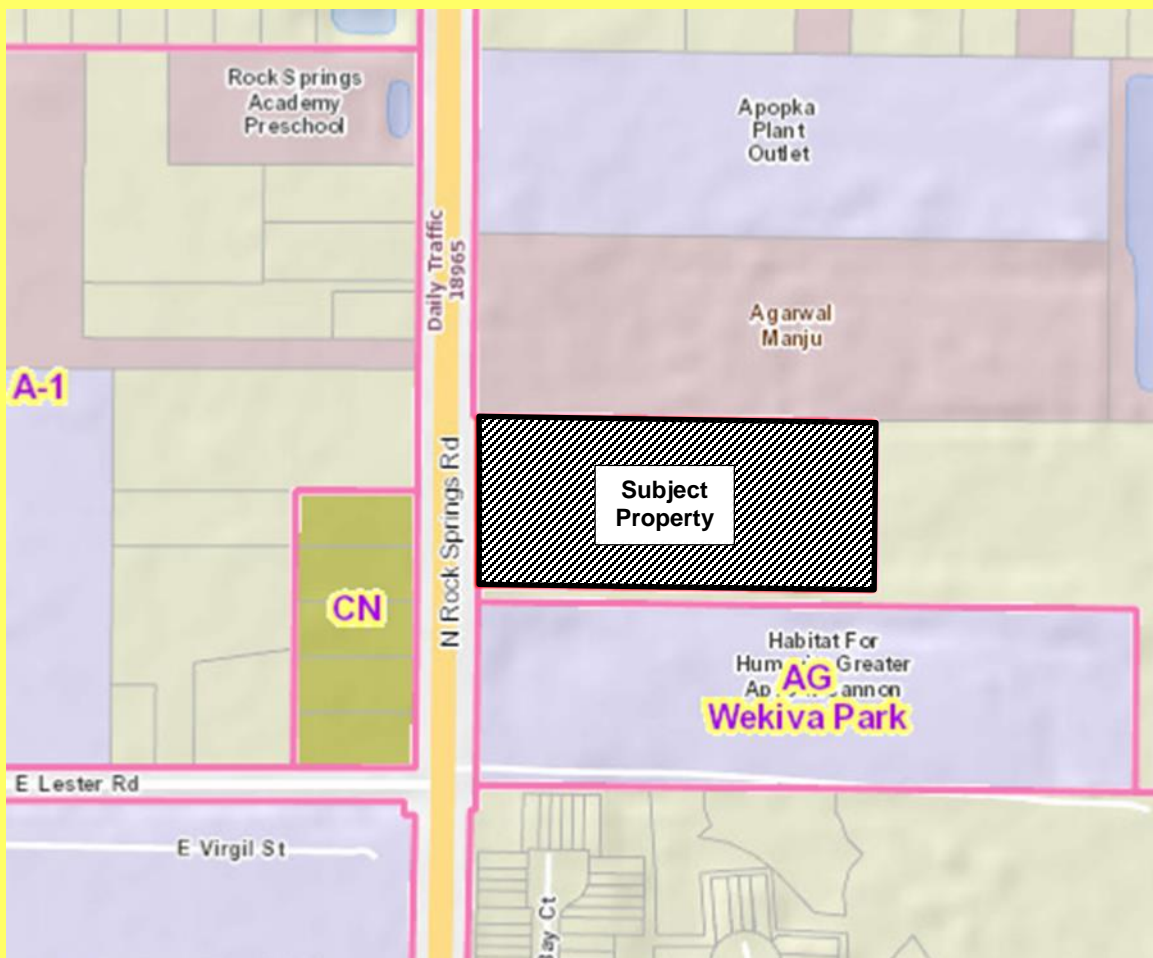
**ALLOWABLE USES:**

1. Office building and accessory buildings in conjunction with commercial agriculture uses for packing, shipping, and storage purposes.
2. Commercial wholesale foliage plant production nursery.
3. Tenant dwellings, for year-round employees, on the basis of one dwelling unit for each five acres of land, provided such dwellings are accessory to the principal use of land.
4. Livestock barns and stables.
5. Crops and animal production and the buildings and structures necessary to support such production.
6. Kennels.
7. Single-family dwellings, including mobile homes, and their customary accessory structures and uses in accordance with article VII of this Code.
8. Apiaries.



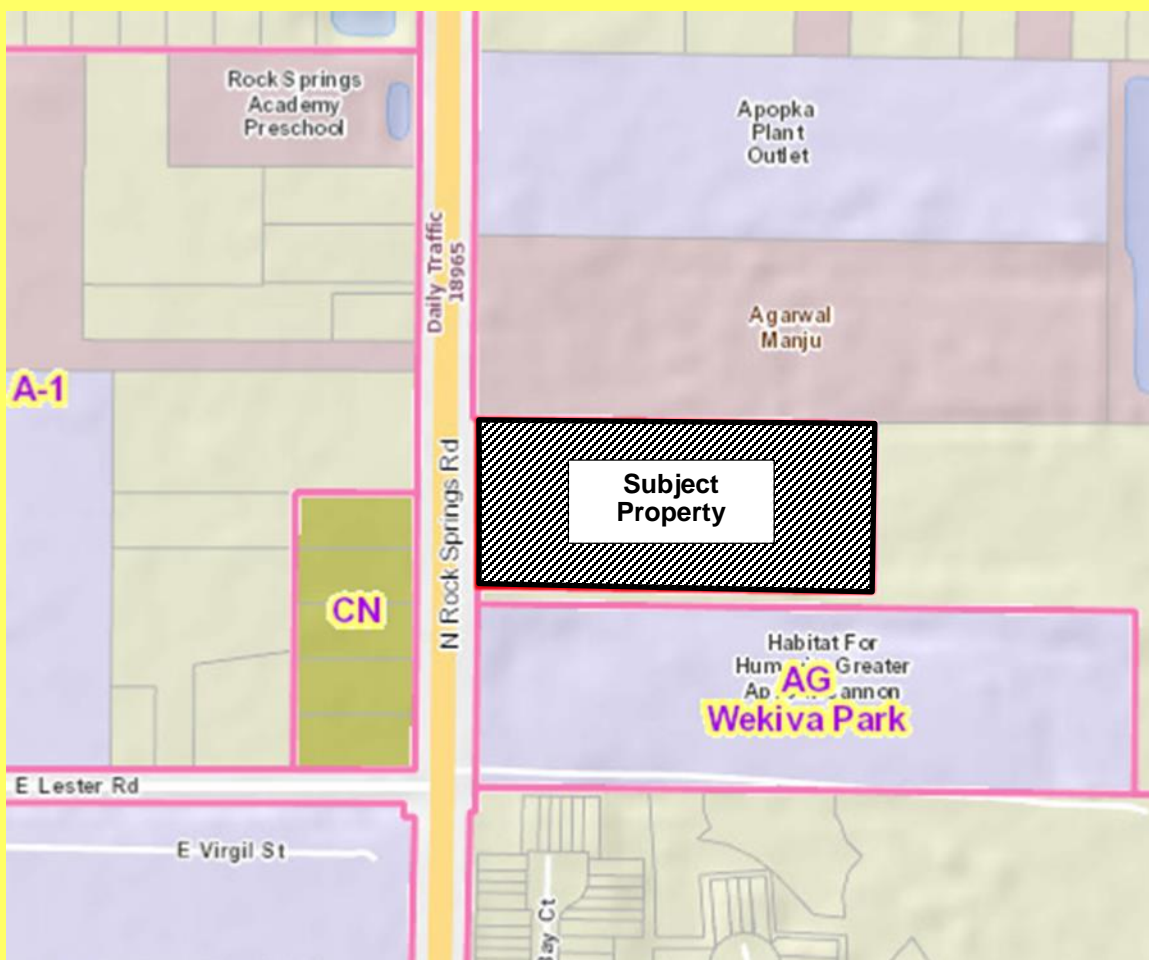
**Edgel LLC**  
**4.95 +/- Acres**  
**Proposed Zoning Change:**  
**From: “County” A-1 (ZIP) (Agriculture)**  
**To: “City” AG (Agriculture)**  
**Parcel ID #: 27-20-28-0000-00-061**

**VICINITY MAP**





### ADJACENT ZONING



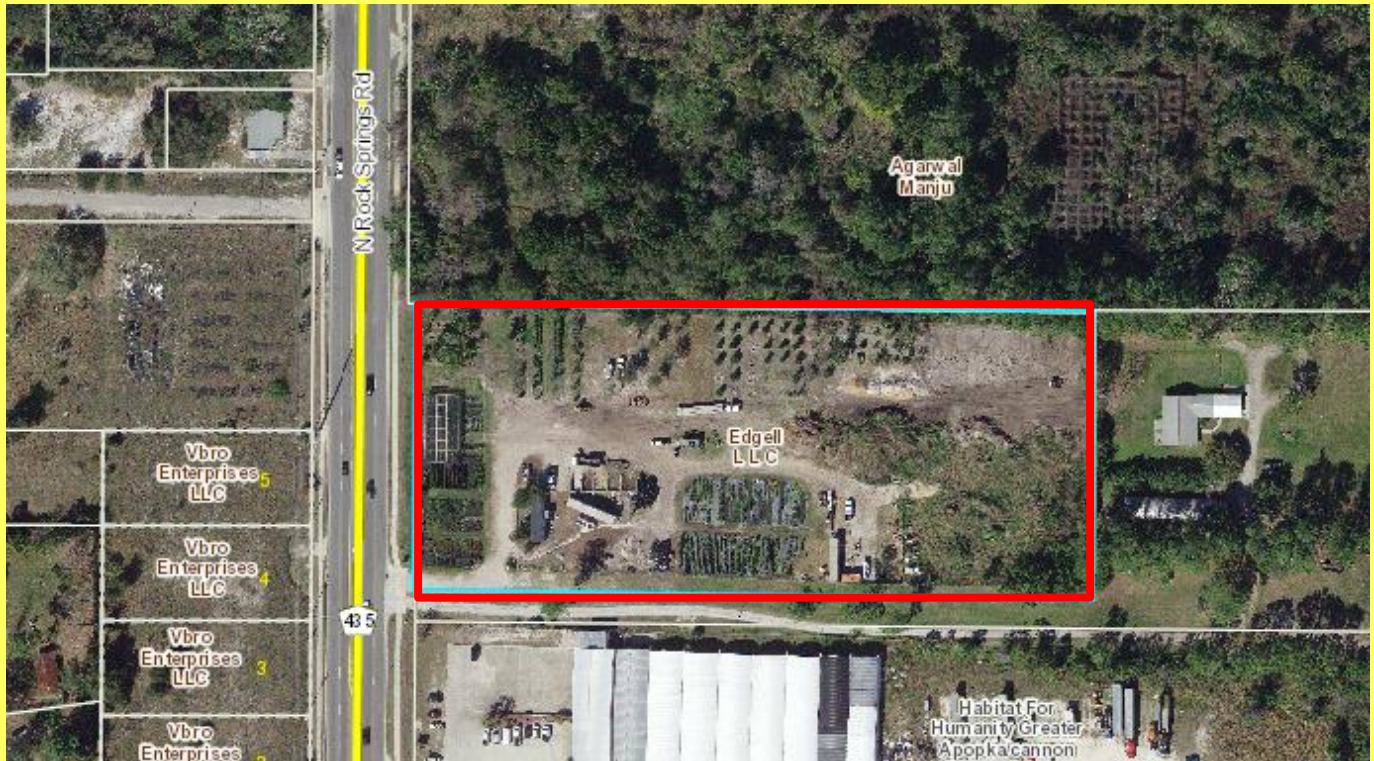


### ADJACENT USES





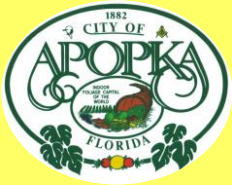
### EXISTING USES





**Backup material for agenda item:**

7. 2017-2 ADMINISTRATIVE REZONING – Case No. 2017-2-5 - Owned by Deborah Halm, from “County” A-1 (ZIP) to “City” RCE-1 (Residential Country Estates), for property located west of Mt. Plymouth Road, north of West Kelly Park Road. (Parcel ID #: 09-20-28-7608-00-122)



# CITY OF APOPKA PLANNING COMMISSION

- PUBLIC HEARING
- SITE PLAN
- SPECIAL REPORTS
- OTHER: 2017-2 Administrative Rezoning

MEETING OF: August 8, 2017  
 FROM: Community Development  
 EXHIBITS: Zoning Report  
 Vicinity Map  
 Adjacent Zoning  
 Adjacent Uses  
 Existing Uses

**SUBJECT:** HALM PARCEL REZONING (CASE # 2017-2-5)  
**PARCEL ID #(S):** 09-20-28-7608-00-122  
**REQUEST:** ADMINISTRATIVE REZONING  
**FROM:** "COUNTY" A-1 (ZIP)  
**TO:** "CITY" RCE-1 (Residential Country Estates)

**SUMMARY:**

OWNER: Deborah Halm  
 APPLICANT: City of Apopka  
 LOCATION: West of Mt. Plymouth Road, north of West Kelly Park Road  
 FUTURE LAND USE: Rural Settlement (0 - 2 du/acres)  
 ZONING: A-1 (ZIP)  
 PROPOSED ZONING: RCE-1 (Residential Country Estates)  
 EXISTING USE: Single-family home  
 PROPOSED DEVELOPMENT: Single-family home (existing)  
 MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING ZONING: 1 residential Unit  
 PROPOSED ZONING: 1 residential Unit  
 TRACT SIZE: 0.91 +/- Acre

**FUNDING SOURCE:**

N/A

**DISTRIBUTION**

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

**ADDITIONAL COMMENTS:** Policy 3.9 of the Apopka Comprehensive Plan 2030 requires that a “City” zoning classification be assigned to annexed properties. The subject property was annexed into the City of Apopka. Staff is requesting an administrative rezoning for the subject property to comply with the policy set forth in the Comprehensive Plan. The proposed city zoning category is comparable to the densities and intensities and uses allowed under the existing “County” zoning classification, and the proposed zoning change is compatible with the character of the surrounding area.

The subject property is located in an area characterized as single-family and agricultural in nature, with “City” AG zoning to the west, north, and south of the subject property, and “County” R-CE to the east. The existing and proposed use of the subject site for a residential building is a permitted use in the proposed RCE-1 zoning district and compatible with the surrounding zoning and uses.

Staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

**COMPREHENSIVE PLAN COMPLIANCE:** The proposed zoning classification is consistent with the Future Land Use Designation assigned to the property.

**SCHOOL CAPACITY REPORT:** The request of the proposed rezoning would result in a number of residential units considered ‘de minimus’ and, therefore, a school capacity determination is not required for the subject properties.

**JOINT PLANNING AREA/OVERLAY:** The subject property is located within the “Northern Area” of the Joint Planning Area with Orange County. The subject properties are not located within any other city overall or protection area.

**ORANGE COUNTY NOTIFICATION:** The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on July 7, 2017.

**PROPERTY OWNER NOTIFICATION:** The property owner was notified of this administrative rezoning and public hearing dates at least thirty (30) days prior to the adoption public hearing.

**PUBLIC HEARING SCHEDULE:**  
August 8, 2017 – Planning Commission (5:30 pm)  
September 6, 2017 – City Council (1:30 pm) – 1st Reading  
September 20, 2017 – City Council (7:00 pm) – 2<sup>nd</sup> Reading

**DULY ADVERTISED:**  
July 21, 2017 – Public Notice and Notification  
September 8, 2017 – Ordinance Heading Ad

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**RECOMMENDATION ACTION:**

The **Development Review Committee** finds the change in zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding area, recommending approval of the change in Zoning from “County” A-1 (ZIP) to “City” RCE-1.

**Recommended Motion:** Find the change in zoning consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommend approval of the change in Zoning from “County” A-1 (ZIP) to “City” RCE-1 for the Halm property.

**Note:** This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

**ZONING REPORT**

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Rural Settlement (0-1 du/5 acres)	AG	Single Family Home
East (County)	Low Density Residential (LDR) 4 du/ac	R-CE	Single Family Homes
South (City)	Rural Settlement (0-1 du/5 acres)	AG	Single Family Home
West (City)	Rural Settlement (0-1 du/5 acres)	AG	Single Family Home

**LAND USE &**

**TRAFFIC COMPATIBILITY:** The subject property fronts and is accessed by a local roadway (My Plymouth Rd). It is similar in nature to the surrounding agricultural and residential areas, and there should be no impact on traffic.

**COMPREHENSIVE  
 PLAN COMPLIANCE:**

The proposed RCE-1 zoning is consistent with the City’s Rural Settlement Future Land Use designation and with the character of the surrounding area and future proposed development. The RCE-1 zoning classification is one of the acceptable zoning categories allowed within the Rural Settlement Future Land Use category. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

**RCE-1 DISTRICT  
 REQUIREMENTS:**

- Minimum Living Area: 2,000 sq. ft.
- Minimum Site Area: 1 acre
- Minimum Lot Width NA
- Setbacks: Front: 35 ft.
- Rear: 30 ft.
- Side: 15 ft.
- Corner 35 ft.

Based on the above zoning standards, the subject site is legal non-conforming for the RCE-1 district.

**BUFFERYARD  
 REQUIREMENTS:**

1. Developments shall provide a minimum six-foot high brick, stone or decorative block finished wall adjacent to all external roadways, erected inside a minimum ten-foot landscaped bufferyard. Landscape materials shall be placed adjacent to the right-of-way, on the exterior of the buffer wall. The city may allow the developer the option to provide up to 50 percent of the buffer wall length in a six-foot wrought iron fence between solid columns. The columns shall be a minimum of 32 feet offset and shall have a stone, brick or decorative block finish. Where wrought iron is used, additional landscape materials and irrigation may be required. T 108 be determined by the city on a case-by-case basis.

2. Areas adjacent to agricultural districts or activities shall provide a minimum five-foot bufferyard and a minimum six-foot high brick, stone or decorative block finished wall unless acceptable alternatives are submitted for approval.

**ALLOWABLE USES:**

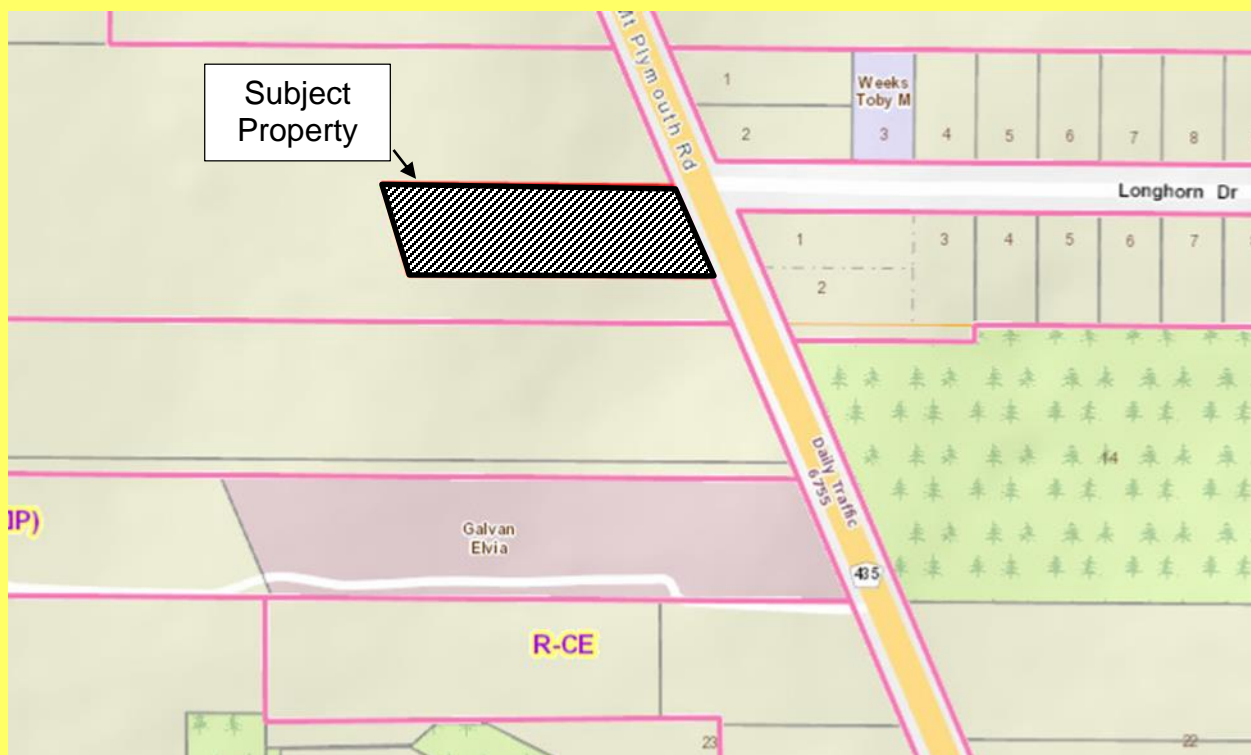
1. Single-family dwellings and their customary accessory structures and uses in accordance with article VII of this code.

2. Guest/granny quarters in accordance with article VII of this code.



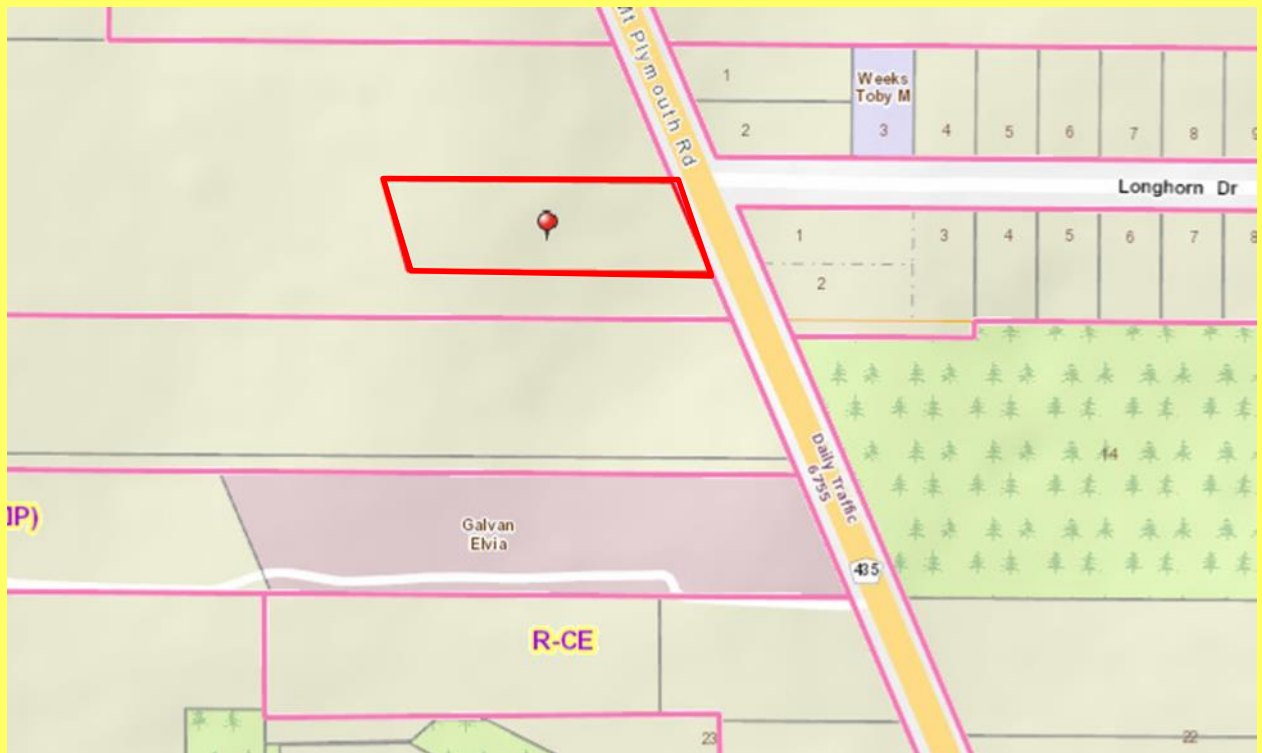
Deborah Halm  
0.91 +/- Acre  
Proposed Zoning Change:  
From: "County" A-1 (ZIP) (Agriculture)  
To: "City" RCE-1 (Residential Country Estates)  
Parcel ID #: 09-20-28-7608-00-122

### VICINITY MAP



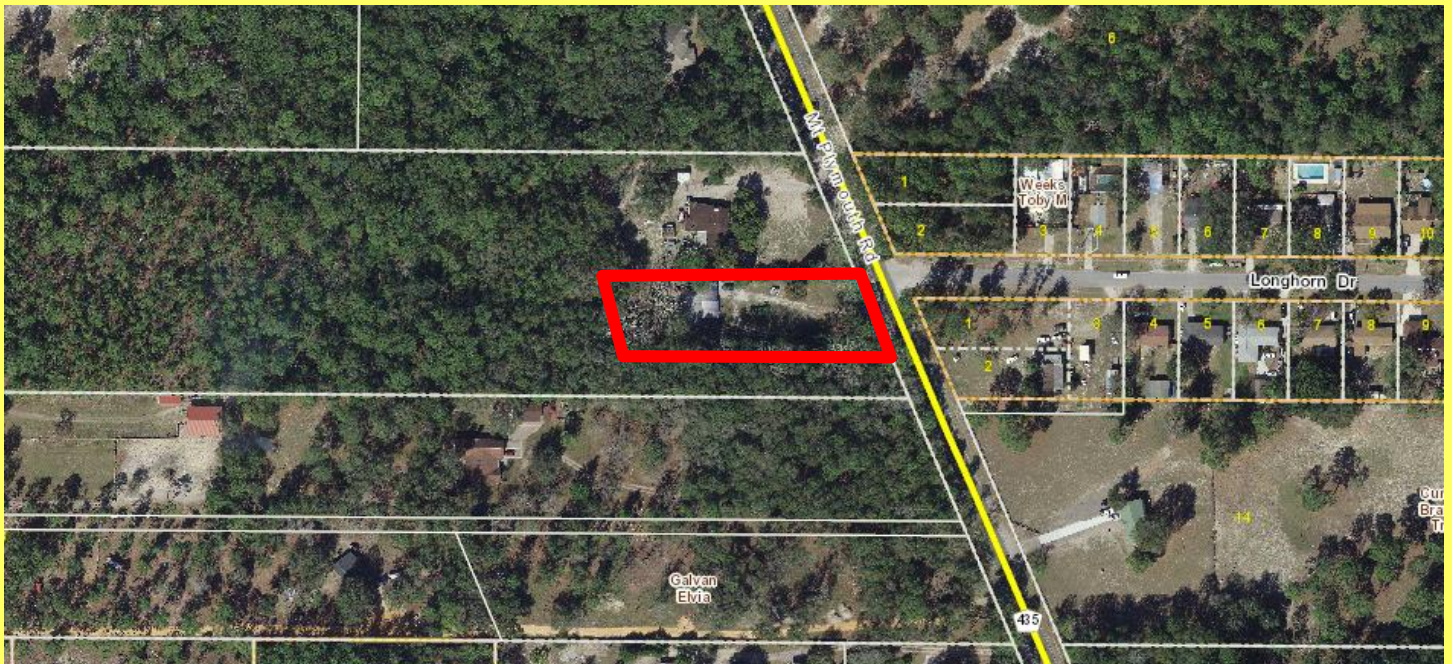


### ADJACENT ZONING





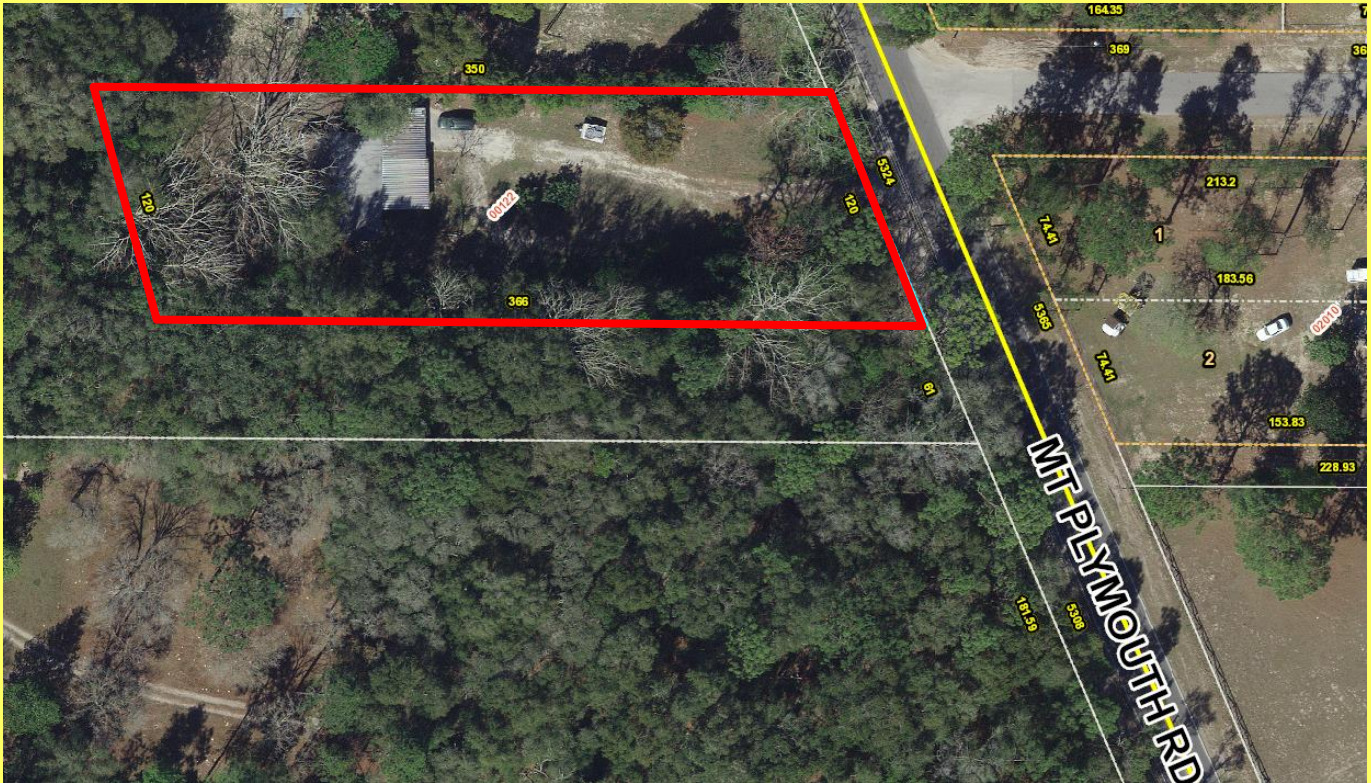
### ADJACENT USES





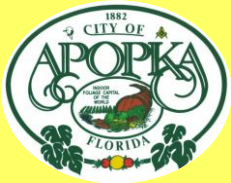


### EXISTING USES



**Backup material for agenda item:**

8. ORDINANCE NO. 2582 – Amending the City of Apopka, Code of Ordinances, Part III, Land Development Code, Article III, Section 3.05, to establish a prohibition of medical marijuana treatment center dispensing facilities within the boundaries of the City as authorized by Section 381.986, Florida Statutes.



# CITY OF APOPKA PLANNING COMMISSION

- PUBLIC HEARING
- SITE PLAN
- SPECIAL REPORTS
- OTHER:

MEETING OF: August 8, 2017  
 FROM: Community Development  
 EXHIBITS: Proposed Ordinance No. 2582  
 Ordinance No. 2388

**SUBJECT:** **AMENDING THE CITY OF APOPKA, CODE OF ORDINANCES, PART III, LAND DEVELOPMENT CODE, ARCTICLE III, SECTION 3.05, TO ESTABLISH A PROHIBITION OF MEDICAL MARIJUANA TREATMENT CENTER DISPENSING FACILITIES WITHIN THE BOUNDARIES OF THE CITY AS AUTHORIZED BY SECTION 381.986, FLORIDA STATUTES.**

**REQUEST:** **RECOMMEND APPROVAL OF THE AMENDMENT TO THE CITY OF APOPKA, CODE OF ORDINANCES, PART III, LAND DEVELOPMENT CODE, ARTICLE III, SECTION 3.05, TO ESTABLISH A PROHIBITION OF MEDICAL MARIJUANA TREATMENT CENTER DISPENSING FACILITIES**

**SUMMARY:**

The City of Apopka adopted Ordinance 2388 on May 6, 2015 to regulate and govern the location and extent of the cultivation, processing and dispensing of cannabis and medical marijuana within the City of Apopka. A need to regulate medical marijuana emerged on June 16, 2014, when Governor Scott signed the Compassionate Medical Cannabis Act of 2014 into law, allowing for the cultivation, processing and dispensing of low THC cannabis statewide, subject to local government zoning laws.

The Florida Legislature pass new laws in 2017 regarding medical marijuana is reaction to a state-wide referendum approved in November 2016 to expand opportunities for the availability of marijuana for medical purposes. Section 381.986 (11) of the Florida Statutes now states if medical marijuana treatment center dispensing facilities are not banned in the municipality, the municipality may not enact any ordinance which limits the number or the location of the dispensing facilities which are more restrictive than how a pharmacy is regulated in that municipality. In summary, local governments can only regulate medical marijuana dispensaries in the same and equal manner that is regulates pharmacies. The two must be treated the same under a local governments zoning laws and development standards.

However, the Florida Legislature in 2017 also gave local governments the opportunity to ban medical marijuana dispensaries. Whereas Florida law limits a local government’s ability to govern the location and extent of medical marijuana dispensaries within the City of Apopka; and whereas the impacts of such use on adjacent or nearby residential areas, schools, religious facilities, and government properties is uncertain; the Development Review Committee and City staff recommend that the City Council ban dispensaries until the City gains more information and knowledge regarding the impacts generated by medical marijuana dispensaries.

Cultivation and processing of cannabis\medical marijuana is not affected by proposed Ordinance 2582. These activities are allowed subject to regulations established through Ordinance 2388.

**FUNDING SOURCE:**

N/A

**DISTRIBUTION**

Mayor Kilsheimer  
 Commissioners  
 City Administrator  
 Community Development Director

Finance Director  
 HR Director  
 IT Director  
 Police

Public Services Director  
 Recreation Director  
 City Clerk  
 Fire Chief

**PLANNING COMMISSION – AUGUST 8, 2017**  
**ORDINANCE NO. 2582 – MEDICAL MARIJUANA DISPENSARY PROHIBITION**  
**PAGE 2**

**PUBLIC HEARING SCHEDULE:**

August 8, 2017 – Planning Commission (5:30 pm)  
August 16, 2017 – City Council 1<sup>st</sup> Reading (7:00 pm)  
September 6, 2017 – City Council 2<sup>nd</sup> Reading (1:30 pm)

**DULY ADVERTISED:**

July 21 & 28, 2017 – Public Hearing Notice\Ordinance Heading  
August 25, 2017 – Ordinance Heading

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**RECOMMENDATION ACTION:**

The **Development Review Committee** recommends approval of the Proposed Ordinance 2582, Prohibiting Medical Marijuana Dispensaries within the City of Apopka.

**Recommended Motion:** Recommend approval of the amendment to the City of Apopka, Code of Ordinances, Part III, Land Development Code, Article III, Section 3.05, to establish a prohibition of medical marijuana treatment center dispensing facilities.

**Note:** This item is considered legislative and establishes general policy. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

**ORDINANCE NO. 2582**

**AN ORDINANCE ESTABLISHING A PROHIBITION OF MEDICAL MARIJUANA TREATMENT CENTER DISPENSING FACILITIES WITHIN THE BOUNDARIES OF THE CITY AS AUTHORIZED BY SECTION 381.986, FLORIDA STATUTES; PROVIDING LEGISLATIVE FINDINGS; PROVIDING FOR CODIFICATION; MORATORIUM CONTINGENCY; SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE.**

**WHEREAS**, the City of Apopka has the authority to adopt this Ordinance pursuant to Article VIII of the Constitution of the State of Florida; Chapters 163 and 166, Florida Statutes; and Section 381.986, Florida Statute; and

**WHEREAS**, potential adverse impacts on the health, safety, and welfare of residents and businesses from secondary effects associated with the sale and distribution of marijuana exists, potentially including; offensive odors, trespassing, theft, fire hazards, increased crime in and about the medical marijuana dispensing facility businesses, robberies, negative impacts on nearby businesses and residences, nuisance problems, and potential reduction in property values in the surrounding area;

**WHEREAS**, certain of the above potential adverse impacts are accentuated by the current difficulties experiences by medical marijuana dispensing facility businesses in obtaining banking services for selling a substance in violation of federal law, necessitating such businesses to operate on a cash basis; and

**WHEREAS**, there exists the potential for misappropriation and diversion of medical marijuana to non-medical uses; and

**WHEREAS**, in 1996, the state of California became the first state to legalize the use of medical marijuana, and several other states subsequently enacted laws legalizing medical marijuana in various circumstances; and

**WHEREAS**, the California Police Chiefs Association developed a Task Force on Marijuana Dispensing facilities that prepared the “White Paper on Marijuana Dispensing facilities” published in 2009 (“White Paper”); and

**WHEREAS**, the White Paper examined the direct and indirect adverse impacts of marijuana in local communities and indicated that marijuana dispensing facilities may attract or cause ancillary crimes, and may result in adverse effects, such as marijuana smoking in public, the sale of other illegal drugs at dispensing facilities, loitering and nuisances, and increased traffic at dispensing facilities; and

**WHEREAS**, the White Paper further indicates that the presence of marijuana dispensing businesses may contribute to the existence of a secondary market for illegal, street-level distribution of marijuana; and

**WHEREAS**, the White Paper outlines the following typical complaints received from individuals regarding certain marijuana dispensing facility study areas; high levels of traffic going to and from the dispensing facilities, people loitering in the parking lot of the dispensing facilities, people smoking marijuana in the parking lot of the dispensing facilities; vandalism near dispensing facilities, and citizens worried that they may become a crime victim due to the proximity to dispensing facilities; and

**WHEREAS**, the White Paper ultimately concludes that there are or may be adverse secondary effects created by the presence of medical marijuana dispensing facilities in communities; and

**WHEREAS**, The Marijuana Policy Group has published a memorandum called “Municipal Dispensary Allocation; Florida” which evaluated the market need for medical marijuana dispensing facilities and the harmful consequences and secondary effects of oversaturation of medical marijuana dispensing facilities within the market place; and

**WHEREAS**, the Marijuana Policy Group determined that Florida should have no more than one dispensing facility for each 50,000 residents and the optimal ratio is one dispensing facility per 67,222 residents. The City of Apopka has an estimated population of 48,000 residents, well below the estimated ratios; and

**WHEREAS**, Section 381.986 (11), Florida Statutes, authorizes a municipality to “ban medical marijuana treatment center dispensing facilities from being located within the boundaries of that municipality”; and

**WHEREAS**, Section 381.986 (11) also states if medical marijuana treatment center dispensing facilities are not banned in the municipality, the municipality may not enact any ordinance which limits the number or the location of the dispensing facilities which are more restrictive than how a pharmacy is regulated in that municipality; and

**WHEREAS**, based on the Marijuana Policy Groups analysis of optimal population ratios, the statutory restrictions placed on a municipality if they allow medical marijuana dispensaries within their jurisdiction, there is a rational basis for the City to exercise its authority under Section 381.986 to ban medical marijuana treatment center dispensing facilities within the boundaries of the City; and

**WHEREAS**, the City finds that this Ordinance is in the interests of public health, safety, and the welfare of its community.

**NOW, THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF APOPKA, FLORIDA:**

**SECTION 1: FINDINGS OF FACT.** The foregoing recitals are hereby ratified and confirmed as being true and correct and are hereby made a part of this ordinance.

**SECTION 2: DEFINITIONS**

- (a) “Medical Marijuana Treatment Center Dispensing Facility” means any facility where medical marijuana, any product derived from medical marijuana, or any medical marijuana delivery device is dispensed at retail.

**SECTION 3: CREATED**

- (a) Medical Marijuana Treatment Center Dispensing Facility ban. Medical Marijuana Treatment Center Dispensing Facilities are prohibited and shall not be located within the boundaries of the City. The City shall not accept, process or approve any request or application for a development order, building permit or other approval associated with a proposed Medical Marijuana Treatment Center Dispensing Facility.

**SECTION 4: CODIFICATION.** This Ordinance shall be incorporated into the Apopka City Code. Any section, paragraph number, letter and/or any heading may be changed or modified as necessary to effectuate the foregoing. Grammatical, typographical and similar like errors may be corrected, and additions, alterations, and omissions not affecting the construction or meaning of this Ordinance or the City Code may be freely made.

**SECTION 5: MORATORIUM CONTINGENCY.** In the event Section 381.986, Florida Statute is amended or interpreted by a court of competent jurisdiction in a way as to eliminate or prevent the City’s ability to ban or prohibit Medical Marijuana Treatment Center Dispensing Facilities within the City limits, upon the effective date of such, an automatic one-year moratorium shall go into place on the acceptance, processing and approval of Medical Marijuana Treatment Center Dispensing Facilities (including by way of acceptance, proceeding and approval of applications for development orders and permits) within the City limits in order to give the City time to evaluate changes in the applicable law, the City’s ability to regulate such uses and activities and potentially enact local legislation regarding the same. Such one-year moratorium may be terminated early through resolution or ordinance of the City Council.

**SECTION 6: SEVERABILITY.** If any section, subsection, sentence, clause, phrase, word or provision of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, whether for substantive, procedural, or any other reason, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions of this Ordinance.

**SECTION 7: CONFLICTS.** In the event of a conflict or conflicts between this Ordinance and any other Ordinance or provision of law, this Ordinance controls to the extent of the conflict, as allowable under the law.

**SECTION 8: EFFECTIVE DATE.** This Ordinance shall become effective immediately upon adoption by the City Council of the City of Apopka, Florida.

**SECTION 9: INCLUSION INTO THE LAND DEVELOPMENT CODE.** It is the intent of the City Council that the provisions of this ordinance shall become and be made a part of the City of Apopka Land Development Code, re-arranged to meet existing codification, and that sections of this ordinance may be renumbered or re-lettered and the word “Ordinance” may be changed to “section”, “article”, “regulation”, or such other appropriate word or phrase in order to accomplish such intentions.

READ FIRST TIME: August 16, 2017

READ SECOND TIME  
AND ADOPTED: September 6, 2017

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Joseph E. Kilsheimer, Mayor

ATTEST:

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Linda G. Goff, City Clerk

APPROVED as to form and legality for use and reliance by the City of Apopka, Florida.

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Clifford B. Shepard, City Attorney

DULY ADVERTISED FOR PUBLIC HEARING:



**ORDINANCE NO. 2388**

**AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AFFECTING THE USE OF LAND IN THE CITY OF APOPKA, AMENDING ARTICLE III OF THE LAND DEVELOPMENT CODE TO INCLUDE A NEW SECTION 3.05 TITLED "DESIGNATED GROW AREA OVERLAY DISTRICT", PROVIDING THAT CANNABIS CULTIVATION AND PROCESSING AND MARIJUANA DISPENSARIES/MEDICAL TREATMENT CENTERS ARE SPECIAL EXCEPTION USES WITHIN A "DESIGNATED GROW AREA OVERLAY DISTRICT" AND PROHIBITING SUCH USES WITHIN ANY OTHER ZONING DISTRICTS OR LOCATIONS WITHIN THE JURISDICTION OF APOPKA; PROVIDING ADDITIONAL STANDARDS AND CONSIDERATION FOR APPROVAL OF A SPECIAL EXCEPTION FOR CANNABIS CULTIVATION OR PROCESSING OR MARIJUANA DISPENSARY/MEDICAL MARIJUANA TREATMENT CENTER; PROVIDING DEFINITIONS; PROVIDING FOR CONFLICTS, SEVERABILITY, CONDITIONS; AND SETTING AN EFFECTIVE DATE.**

**WHEREAS**, the State of Florida is considering legalizing the cultivation and processing of cannabis and the dispensing of marijuana; and

**WHEREAS**, the purpose and intent of this Ordinance is to regulate the cultivation and processing of cannabis and the dispensing of non-medical\medical marijuana in order to promote the health, safety, and general welfare of the residents and businesses within the City.

**WHEREAS**, the City Council has determined that it is in the best interest of the citizenry and general public to regulate the location of cannabis cultivation and processing and marijuana dispensaries/medical marijuana treatment centers in the event the State of Florida legalizes said dispensaries, whether for medical use or non-medical use; and

**WHEREAS**, the City Council has the responsibility and authority to determine what uses are best suited to particular zoning categories as well as land use categories within the City; and

**WHEREAS**, the City Council has determined that given the potential impact on the surrounding area, cannabis cultivation and processing and marijuana dispensaries/medical marijuana treatment centers should only be permitted within a limited areas of the municipal limits, and non-medical marijuana sales should be prohibited within the municipal limits;

**WHEREAS**, the City Council has determined that it is advisable and in the public interest to set certain distance and other siting standards in regard to the location and operation of cannabis cultivation or processing or marijuana dispensaries/medical marijuana treatment centers; and

**WHEREAS**, the City Council of the City of Apopka finds that this ordinance promotes the general welfare and is consistent with the Comprehensive Plan.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF APOPKA, FLORIDA, as follows:**

**SECTION 1. DEFINITIONS:**

- a. **Agriculture:** means the science and art of production of plant(s) and animals useful to humans, including to a variable extent the preparation of these products for human use and their disposal by marketing or otherwise, and includes aquaculture, horticulture, floriculture, viticulture, forestry, dairy, livestock, poultry, bees, and any and all forms of farm products and farm production, including hay or grass harvesting and bailing operation. For the purposes of marketing and promotional activities, seafood shall also be included in this definition.
- b. **Cannabis:** Any plant(s) or part of a plant(s) of the genus Cannabis, whether growing or not; the seeds thereof; the resin extracted from any part of the plant(s); and every compound, manufacture, salt, derivative, mixture, or preparation of the plant(s) or its seeds or resin.
- c. **Cannabis Cultivation:** the planting, tending, improving, farming, drying or harvesting of cannabis plants from seed, juvenile stock, or grafting.
- d. **Cannabis Processing:** the preparation of the cannabis plant intended for use as medicine or medical purposes as prescribed by a licensed Florida physician.
- e. **Designated Grow Area (DGA) Overlay District.** The following areas are defined as a "Designated Grow Area" Overlay District:
  - 1) **Keene\Clarcona DGA:** All Agriculture or Industrial zoned property in the general area west of the S.R. 414 bridge at E. Keene Road, east of McQueen Road, and south of S.R. 414, as depicted in Map A: Keene\Clarcona Road DGA as delineated in Map A: Keene\Clarcona DGA.
  - 2) **Hermit Smith\Hogshead DGA:** All Agriculture or Industrial zoned property within the area west of S.R. 429, south of U.S. 441, and north of Lust Road, as delineated in Map B: Hermit Smith\Hogshead DGA.
- f. **Fully enclosed and secure structure:** A space within a building, greenhouse or other structure which has a complete roof enclosure supported by connecting walls extending from the ground to the roof, which is secure against unauthorized entry, provides complete visual screening, and which is accessible only through one or more lockable doors.
- g. **Horticulture Nursery:** an agriculture operation limited to the cultivation of fruits, vegetables, nuts, seeds, herbs, sprouts, mushrooms, algae, flowers, seaweeds and non-food crops such as grass and ornamental trees and plants.
- h. **Legacy Grow Site:** Property actively operated as a registered nursery within a Designated Grow Area for at least five continuous years preceding and measured from the effective date of this ordinance.
- i. **Marijuana Dispensary:** A facility that is operated by an organization or business holding all necessary licenses and permits from which marijuana, cannabis, cannabis-based products, or cannabis plant(s) are delivered, purchased, possessed, or dispensed for medical purposes and operated in accordance with all local and state laws.

- j. **Marijuana Treatment Center:** A medical marijuana dispensary where qualifying patients are administered medical marijuana by medical professional licensed by the State of Florida to patients in accordance with all local and state laws.
- k. **Medical Use:** The prescriptive use of any form of cannabis to treat a qualifying medical condition and the symptoms associated with that condition or to alleviate the side effects of a qualifying medical treatment, as identified by a physician licensed by the State of Florida.
- l. **Non-Medical Marijuana Sales.** The purchase, sale, transfer or delivery of marijuana, cannabis, cannabis-based products or cannabis plant(s) when such sale, transfer or delivery is not associated with any medical purpose or use, whether or not such purchase, sale, transfer or delivery is lawful under state law.

**SECTION 2. CANNABIS CULTIVATION AND PROCESSING PROHIBITED.**

Cultivation or processing of cannabis for non-medical marijuana purposes is prohibited within the City of Apopka. Excepting the Designated Grow Areas described in Sec. 3a., cultivation or processing of cannabis for medical use is prohibited in all other areas of the City of Apopka. It is hereby declared to be unlawful and a public nuisance for any person owning, leasing, occupying, or having charge or possession of any parcel in the City of Apopka to cause or allow such parcel to be used for the cultivation or processing of cannabis plants within a fully enclosed and secure structure on the parcel, except as outlined below in Section 3.

**SECTION 3. CANNABIS CULTIVATION AND PROCESSING.**

- a. Cultivation or processing of cannabis for medical marijuana is allowed as a Special Exception use approved by the Planning Commission within an Agriculture or Industrial I-1 district located within a DGA or Legacy Grow Site located within a DGA as delineated in Maps "A" and "B". If a parcel, lot, or legal lot-of-record straddles the DGA boundary, no cultivation or processing can occur outside the DGA boundary.
- b. Horticulture Nursery Special Exception Prohibition. Cultivation or processing of cannabis for medical or non-medical use is prohibited as a special exception use for horticulture nursery operations. Any Special Exception approved by the City prior to the effective date of this ordinance is not allowed to cultivate or process cannabis.
- c. Enclosed Cultivation. Any cultivation of cannabis shall occur within a fully enclosed and secure structure. Outdoor cultivation is prohibited
- d. Enclosed Processing. All cannabis processing, laboratories, research activities and associated equipment occur within a fully enclosed and secured building that has been issued a building permit by the City of Apopka or Orange County.
- e. License. A valid license must be obtained from the State of Florida and remain in effect during the operation of the cannabis business. All cultivation and processing activities shall cease if a license has expired. At least seventy-two (72) hours before a cannabis cultivation or processing business terminates operation, the owner must notify the Police Chief of the City of Apopka.
- f. **Additional Special Exception Criteria:**
  - 1). Street Access. All cannabis cultivation and processing sites within the Keene\Clarcona DGA must directly access Keene Road or Clarcona Road. All cannabis cultivation and

processing sites within the Hermit Smith\Hogshead DGA must directly access Hermit Smith Road, Hogshead Road, Peterson Street, or Binion Road.

A stabilized surface acceptable to the city engineer shall be provided from the public street to any onsite processing buildings.

- 2) **Utilities.** All cannabis processing sites shall connect to a central water and sewer system unless otherwise temporarily waived by the City Administrator until a development agreement addresses a schedule for connecting the site to such services. Onsite wells and septic tanks may be allowed on a temporary basis through a development agreement that ensures connection to a central water and sewer systems within five years.
- 3) **Employee Parking.** All employee vehicle parking areas shall occur within a paved, lighted parking lot.
- 4) **Distance Separation.** Cultivation or processing buildings or structures shall be separated from other uses according to the following separation minimum standard:

	<b>Affected Property (feet)</b>			
<b>Location of Cultivation or Processing Buildings or Structure</b>	<b>Vacant Parcel Assigned a Residential Zoning District</b>	<b>Church or Place of Worship, School, Hospital, County or Municipal Park, Day Care (F.S. 402.302)</b>	<b>Platted Residential Subdivision; Residential Parcel less than 5 acres</b>	<b>Occupied Residential Parcel Greater than 5 acres</b>
Designated Grow Area	100	500	250	200

Distances shall be measured by drawing a straight line between the closest point of the cannabis cultivation or processing building or nursery structure to the closest property line or edge of leased space (whichever is closer) of the affected property.

- 5) **Minimum Parcel Size.** A minimum parcel size necessary for cultivation, processing, or combined operations within a DGA is two (2) compact and contiguous acres.
- 6) **Parcel.** Cannabis cultivation or processing shall occur on a separate parcel, lot, or legal lot-of-record than that on which a medical marijuana dispensaries/medical marijuana treatment centers is located.
- 7) **Signage.** No business identification sign (i.e., wall, monument, pole, directional) shall include the words “marijuana”, “cannabis”, or any similar related word, nor shall any graphic or illustration associated with such words appear in such signs for any business cultivation, processing or dispensing business. An electronic reader board or changeable copy sign is not allowed on any property where cannabis is cultivated, processed, sold, or dispensed.

- 8) Security and Safety Plan. A security and safety plan will be reviewed and approved by the chief of police or designee. The security and safety plan shall at minimum address but not be limited to, locking options, alarm systems, and video surveillance, and as otherwise determined necessary by the Police Chief. Any such documents or information for review shall be transmitted directly to the police chief's office for review and not attached to the permit as may be required by the Community Development Department. The police chief or designee will respond to the development review committee approval or denial of said plan. Any information, records, photographs, audio and visual presentations, schematic diagrams, surveys, recommendations, or consultations or portions thereof relating directly to the physical security of the facility or revealing security systems or other sensitive information gathered will be exempt from public records in accordance with FSS 119.071, "General exemptions from inspection or copying of public records."

**SECTION 4. MARIJUANA DISPENSARIES/MEDICAL MARIJUANA TREATMENT CENTERS.**

- a. *Applicable Zoning District.* Marijuana dispensaries/medical marijuana treatment centers for marijuana medical use are allowed as a Special Exception within a Commercial C-1, Industrial I-1 or Agriculture District located within a Designated Grow Area subject to compliance with the standards set forth below. No more than five (5) medical marijuana dispensary/medical marijuana treatment center establishments shall locate within each of the Designated Grow Areas.
- b. *Prohibited Locations.* Non-medical marijuana dispensaries/medical treatment centers or sales are prohibited within the jurisdictional area of the City of Apopka. Medical Marijuana dispensaries/medical marijuana treatment centers are prohibited in the City of Apopka except as allowed in Section 4.a. Zoning Districts where medical marijuana dispensaries/medical marijuana treatment centers are prohibited also include: the Downtown Development Overlay District, Community Redevelopment Area (CRA), Planned Unit Development, Mixed-EC, and Mixed-CC zoning categories.
- c. No other business shall be permitted to be conducted from the same address where the marijuana dispensary/medical marijuana treatment center is located. This requirement does not apply to licensed nursery businesses that were operating prior to the effective date of this ordinance.
- d. Any parking demand created by marijuana dispensary/medical marijuana treatment center shall not exceed the parking spaces located or allocated on site, as required by the city's parking regulations.
- e. *Controlled Substances.* The onsite sale, provision, or dispensing of marijuana is prohibited except as specifically authorized by state law.
- f. *Loitering.* A marijuana dispensary/medical marijuana treatment center shall provide adequate seating for its patients and business invitees. The marijuana dispensary/medical marijuana treatment center shall not direct or encourage any patient or business to stand, sit (including in a parked car), or gather or loiter outside of the building where the dispensary/center operates, including in any parking areas, sidewalks, rights-of-way, or neighboring properties for any period of time longer than reasonably required for patients to conduct their official business and depart. The marijuana dispensary/medical marijuana treatment center shall post conspicuous signs on at least three (3) sides of the building stating that no loitering is allowed on the property.

- g. *Queuing of Vehicles.* The marijuana dispensary/medical marijuana treatment center shall ensure that there is no queuing of vehicles in the rights-of-way. The marijuana dispensary/medical marijuana treatment center shall take all necessary and immediate steps to ensure compliance with this paragraph.
- h. *No Drive-Through Service.* No marijuana dispensary/medical marijuana treatment center shall have a drive-through or drive-in service aisle. All onsite dispensing, payment for and receipt of said marijuana shall occur from within or inside the marijuana dispensary/medical marijuana treatment center.
- i. *On-Site Consumption of Marijuana and/or Alcoholic Beverages.* No consumption of marijuana or alcoholic beverages shall be allowed on the premises, including in the parking areas, sidewalks or rights-of-way except for medical marijuana treatment centers. The marijuana dispensary/medical marijuana treatment center shall take all necessary and immediate steps to ensure compliance with this paragraph.
- j. *Signage.* No business identification sign (i.e., wall, monument, pole, directional, human) shall include the words "marijuana", "cannabis", or any similar related word, nor shall any graphic or illustration associated with such words appear in such signs or on any building or structure used a marijuana dispensing/marijuana treatment center. An electronic reader board or changeable copy sign is not allowed on any property where cannabis is cultivated, processed, sold, or dispensed
- k. *Hours of Operation.* Marijuana dispensaries/medical marijuana treatment centers shall only dispense or treat patrons between 7:00 A.M. and 8:00 P.M.
- l. *Customer Waiting Area.* All customer waiting areas shall occur within in an enclosed building. No customer waiting areas shall occur outdoors or within a porch area, whether covered or not.
- m. *Building Orientation and Design.* All customer building entrances shall be oriented to and visible from a public street. Color of any wall or roof of any marijuana dispensaries/medical marijuana treatment centers shall comply with the City's Development Design Guidelines.
- n. *Distance Separation.* No marijuana dispensary/medical marijuana treatment center shall be located within five hundred (500) feet of any school or church, or within two hundred (200) feet of any residentially zoned property, as further defined by these regulations. Distances shall be measured by drawing a straight line between the closest point of the marijuana dispensary/medical marijuana treatment center structure (be it a building or leased space in a building) to the closest property line or edge of leased space (whichever is closer) of the school, church or residentially zoned property.
- o. *Compliance with Other Laws.* All marijuana dispensaries/medical marijuana treatment centers shall at all times be in compliance with all state regulations and the Apopka City Code of Ordinances and Land Development Code, as may be applicable and amended from time to time.
- p. *Security and Safety Plan.* Compliance with Section 3.f.8. of this ordinance is required.
- q. *Special Exception Standards.* When considering an application for marijuana dispensaries/medical marijuana treatment centers, the Planning Commission must consider the special exception criteria listed in paragraph d below, in addition to that criteria listed in subsection 2.02.B.5. The Planning Commission may deny the request, approve the request, or approve the request with conditions, based upon a review of these considerations. The Planning Commission may assign additional conditions and safeguards as deemed necessary:

- 1) Whether the request will cause damage, hazard, nuisance or other detriment to persons or property.
  - 2) No other business, aside or separate from the dispensing of marijuana shall be permitted to be conducted from the same address where the marijuana dispensary/medical marijuana treatment center is located.
  - 3) The parcel, lot, or lot-of-record shall access a collector or arterial road.
  - 4) Additional Hours of Operation Restrictions. Hours of operation can be further restricted based on proximity of residential development or to protect the character and environment of developed surrounding areas.
- r. Exemptions. Hospitals and pharmacies licensed by the State of Florida are exempt from Section 4.

**SECTION 5. GENERAL USE. PROHIBITION ON STREETS, SIDEWALKS, ALLEYS, ETC.**

- 1) Regulations applicable to the consumption of medical marijuana. No person shall smoke, ingest, or otherwise consume medical marijuana in the City of Apopka unless such smoking, ingesting or consumption occurs entirely within a private residence, or within a clinic, health care facility, residential care facility, or residential hospice licensed pursuant to applicable provisions of Florida Statutes.
- 2) It is unlawful for any person to purchase, use, smoke, ingest, offer for sale, possess, consume, or carry any non-medical\medical marijuana in any public park or governmental property or on the public right -of -way, inclusive of streets, sidewalks or alleys, within the Municipal Corporate Limits of the City of Apopka Florida.
- 3) It is unlawful for any person to purchase, use, smoke, ingest, offer for sale, possess, consume or carry non-medical\medical marijuana or carry in or upon any parking area open to public use or in or upon any private property without the consent of the owner, tenant or other person lawfully in possession of said property.
- 4) It is unlawful for any person to smoke, ingest, or otherwise consume or carry or use non-medical\medical marijuana while such person is in or on any vehicle which is located in or upon any parking area open to public use, or in or upon any private property without consent of the owner or in any public park or governmental property or on the public right -of -way, inclusive of streets, sidewalks or alley.
- 5) It is unlawful for any person to smoke, ingest or otherwise consume or use any non-medical\medical marijuana on the streets, sidewalks or alleys within the city, while such person is an operator or passenger in or on any vehicle, whether moving or stopped, and such consumption is open to public view.

**SECTION 6.** Notwithstanding any other provision, it is unlawful for any person to utilize medical marijuana in any public park or governmental property or on the public right-of-way, inclusive of streets, sidewalks or alleys, within the city; in or upon any parking area open to public use, or in or upon any private property without the consent of the owner, tenant or other person lawfully in possession of said property; or when such person is in or on any vehicle which is located in or upon any parking area open to public use, or

in or upon any private property or in any public park or governmental property or on the public right-of-way, inclusive of streets, sidewalks or alleys.

**SECTION 7.** It is unlawful for any vendor, or for any agent, servant or employee of such vendor, to permit the use of medical marijuana in or upon any parking or other area outside of the vendor's building or room if such parking or other area is adjacent to the building or premises in which the business licensed is operated, when such parking or other area is owned, rented, leased, regulated, controlled or provided, directly or indirectly, by such licensed vendor or any agent, servant or employee of such licensed vendor. A licensed vendor may post and maintain a legible painted or printed sign in at least two separate prominent places on such parking or other area, with sufficient light directed thereon to be visible during the hours of darkness while such place of business is open, in letters not less than three inches in height, stating the following: "WARNING: Utilization of medical marijuana on this Lot Prohibited—\$500.00 Fine and/or 60 days in Jail—City Ordinance." Posting of such signs shall constitute prima facie evidence that such vendor is not operating in violation of subsection (a) of this section. If any licensed vendor mentioned in this section is a corporation, then the officers of such corporation shall be regarded as the owners thereof for the purposes of enforcement of this section.

**SECTION 8. PENALTIES.** Any person violating any of the provisions of this article shall be prosecuted in the same manner as misdemeanors are prosecuted. Such violations shall be prosecuted in the name of the State of Florida in a court having jurisdiction of misdemeanors by the prosecuting attorney thereof and, upon conviction, shall be punished by a fine not to exceed \$500.00 or by imprisonment in the county jail not to exceed 60 days or by both fine and imprisonment as provided in F.S. § 162.22, (1997). Each incident or separate occurrence of any act that violates this article shall be deemed a separate offense. In addition to the penalties provided under this section, violators of this article shall be subject to any other appropriate civil or criminal action provided by law in a court of competent jurisdiction, including, but not limited to, injunctive relief.

**SECTION 9. CONFLICTS.** Any ordinance, resolution, or part thereof, in conflict with this Ordinance, or any part hereof, is hereby repealed to the extent of such conflict.

**SECTION 10. SEVERABILITY.** If any portion of this Ordinance is for any reason held or declared to be unconstitutional, inoperative or void, such holding shall not affect the remaining portions of this Ordinance. If this Ordinance or any provision thereof shall be held to be inapplicable to any person, property or circumstances, such holding shall not affect its applicability to any other person, property or circumstances.

**SECTION 11. EFFECTIVE DATE.** This Ordinance shall take effect immediately upon passage and adoption by the City Council as to the acceptable siting locations for marijuana dispensaries/medical marijuana treatment centers, however the designation of a marijuana dispensary/medical marijuana treatment center and the selling of marijuana products as defined by the Florida Constitution or Florida Law shall occur only upon and after the official date in which the sale and distribution of marijuana has been deemed legal by the State of Florida.

**SECTION 12. REPEALER.** Any and all ordinances and regulations in conflict herewith are hereby repealed to the extent of any conflict. This ordinance specifically repeals and replaces the following ordinance(s) and regulation(s): Land Development Code, Chapter III, Article 3, Section 3-11, Subsection E, Paragraph 15 titles "Pain Management Clinics.



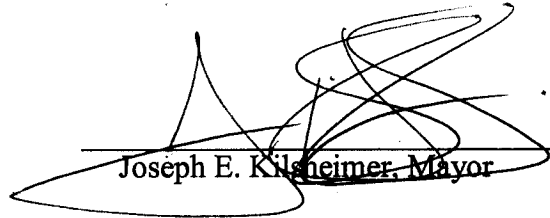
**SECTION 13. INCLUSION INTO THE LAND DEVELOPMENT CODE.** It is the intent of the City Council that the provisions of this ordinance shall become and be made a part of the City of Apopka Land Development Code, re-arranged to meet existing codification, and that the sections of this ordinance may be renumbered or re-lettered and the word "ordinance" may be changed to "section," "article," "regulation," or such other appropriate word or phrase in order to accomplish such intentions.

Passed on the first reading on the 6<sup>th</sup> day of May, 2015.

FIRST READING: April 1, 2015

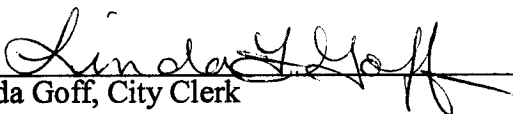
SECOND READING: April 15, 2015

THIRD READING  
AND ADOPTION: May 6, 2015

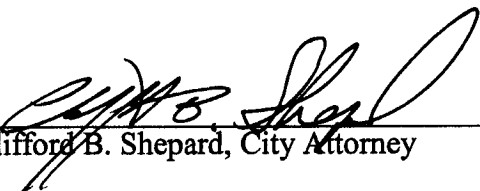
  
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Joseph E. Kilsheimer, Mayor

Attorney signature recommended for this ordinance.

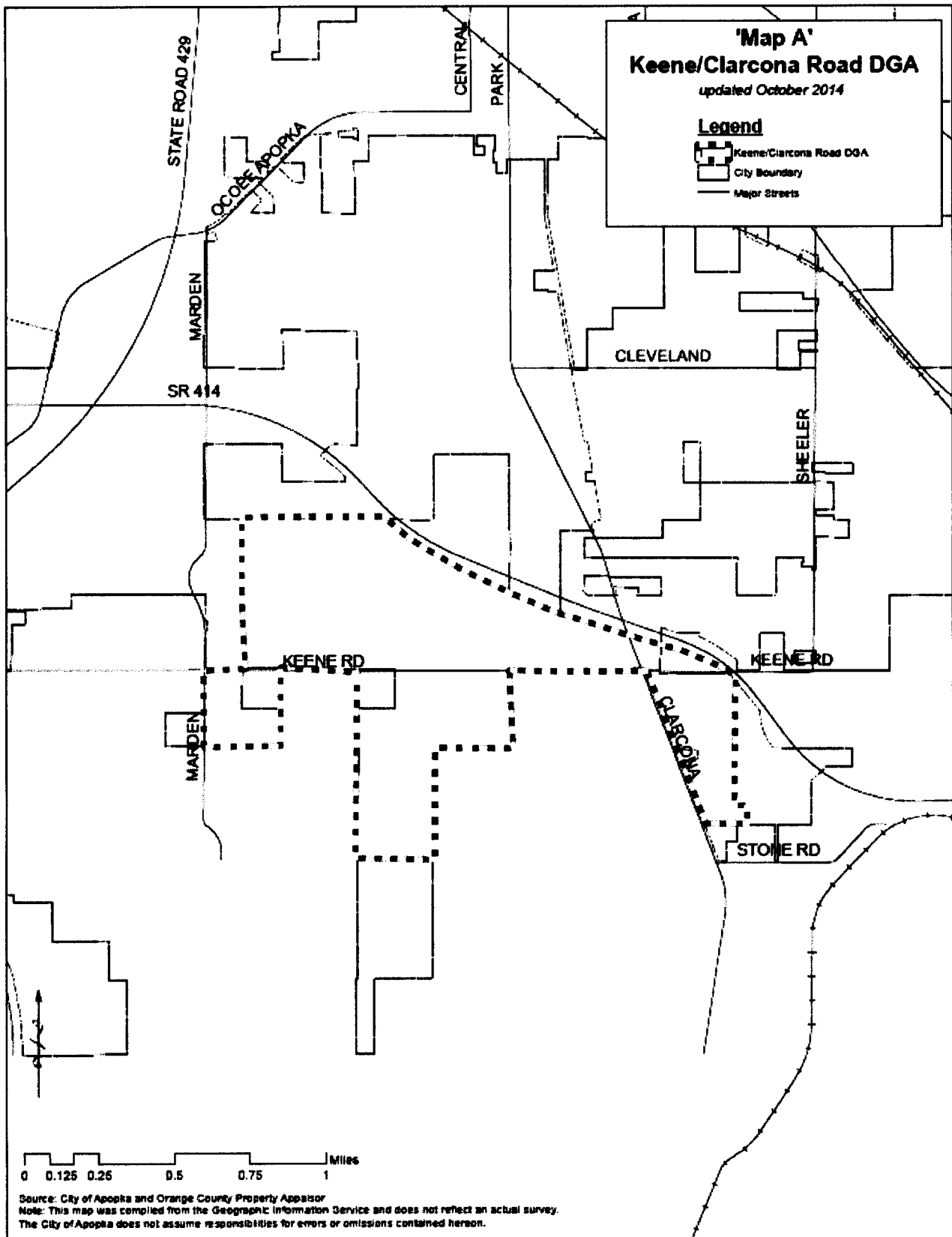
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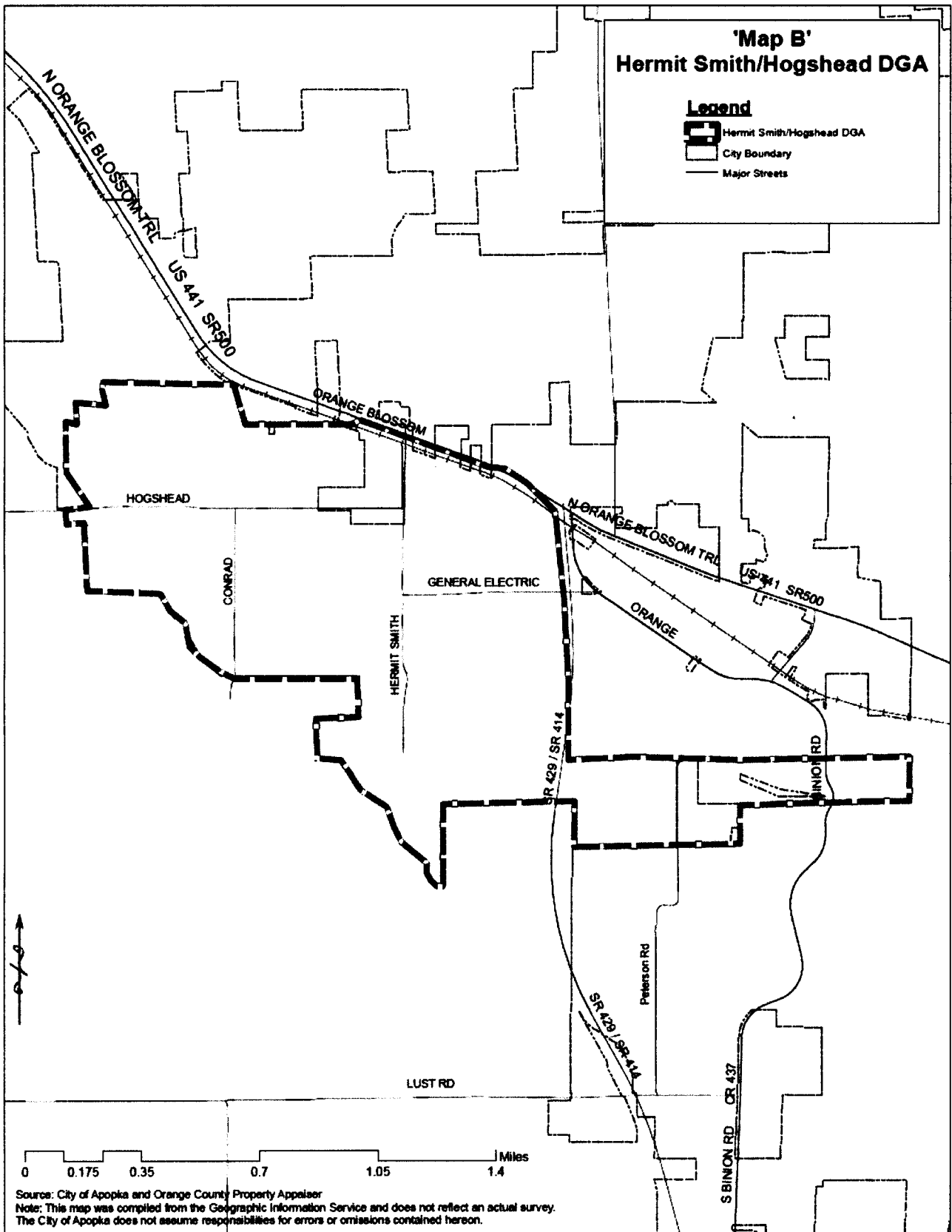
  
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Linda Goff, City Clerk

APPROVED AS TO FORM:

  
\_\_\_\_\_  
Clifford B. Shepard, City Attorney

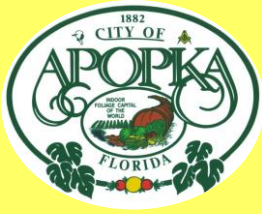
DULY ADVERTISED FOR PUBLIC HEARING: March 13, 2015  
April 3, 2015  
April 24, 2015





**Backup material for agenda item:**

1. PLAT – FIRST STREET RETAIL CENTER PLAT (AKA TRACTOR SUPPLY SITE) –Owned by Michael L. Hart, Margie A. Hart and Apopka Regional Properties, LLP, property located at 180 East 1st Street. (Parcel ID #s: 09-21-28-0196-10-040, 09-21-28-0196-10-064 and 09-21-28-0196-10-122)



# CITY OF APOPKA PLANNING COMMISSION

- PUBLIC HEARING
- SITE PLAN
- SPECIAL REPORTS
- OTHER: Subdivision Plan

MEETING OF: August 8, 2017  
 FROM: Community Development  
 EXHIBITS: Vicinity Map  
 Aerial Map  
 Final Plat

**SUBJECT:** PLAT - FIRST STREET RETAIL CENTER PLAT (AKA TRACTOR SUPPLY SITE)

**REQUEST:** RECOMMEND APPROVAL OF THE FIRST STREET REATAIL CENTER PLAT

**SUMMARY:**

OWNER: Michael L. Hart, Margie A. Hart and Apopka Regional Properties, LLP  
 ENGINEER: Hanlex Civil, LLC  
 LOCATION: 180 West 1<sup>st</sup> Street (South of 1<sup>st</sup> Street and East of Washington Avenue)  
 PARCEL ID NUMBERS: 09-21-28-0196-10-040, 09-21-28-0196-10-064 and 09-21-28-0196-10-122  
 FUTURE LAND USE: Commercial  
 ZONING: C-2  
 EXISTING USE: Horticultural Nursery  
 PROPOSED USE: Retail Center  
 TRACT SIZE: 3.09 +/- Acres (S.F.)  
 BUILDING SIZE: 19,027 S.F. and 18,000 Outdoor Display Area  
 BUILDING HEIGHT: 30 Feet  
 FLOOR AREA RATIO: 0.14

**FUNDING SOURCE:**

N/A

**DISTRIBUTION**

Mayor Kilsheimer  
 Commissioners  
 City Administrator  
 Community Development Director

Finance Director  
 HR Director  
 IT Director  
 Police

Public Services Director  
 Recreation Director  
 City Clerk  
 Fire Chief

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<b>Direction</b>	<b>Future Land Use</b>	<b>Zoning</b>	<b>Present Use</b>
North (City)	Commercial	PO/I	Office Building and Residential Duplex
East (City)	Office	PO/I	SFR (4)
South (City)	Commercial	C-2	Gas Station and Automotive Repair
West (City)	Commercial	C-2	Retail and Warehouse Buildings

**ADDITIONAL COMMENTS:** The First Street Retail Center Plat covers the property occupied by the Tractor Supply- Apopka - Final Development Plan, which was approved by City Council on December 21, 2016 for 19,027 square feet of commercial retail space with and 18,000 square feet outdoor display area. To consolidate existing lots into one parcel, the plat performs as a replat to create one unified development parcel. The 3.9 acres site is located south of West 1st Street and East of Washington Ave. The plat will consolidate several lots into one lot to unify the property ownership and eliminate lot lines crossing the development site.

**PUBLIC HEARING SCHEDULE:**

August 8, 2017 – Planning Commission (5:30 pm)  
 August 16, 2017- City Council (7:00 pm)

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**RECOMMENDATION ACTION:**

The **Development Review Committee** the First Street Retail Center Plat to be consistent with the Comprehensive Plan, Land Development Code, and Tractor Supply Final Development Plan and recommends the approval of the First Street Retail Center Plat, subject to the findings of this staff report and conditions of approval.

**Recommended Motion:** Find the First Street Retail Center Plat consistent with the Comprehensive Plan, Land Development Code, and Final Development Plan, and recommend approval of the First Street Retail Center Plat Plat, subject to the findings of this staff report and conditions of approval.

**Planning Commission Role:** The role of the Planning Commission for this application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan, Land Development Code, and Final Development Plan.

**Note:** This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

**Application:** First Street Retail Center Plat  
**Owner:** Michael L. Hart, Margie A. Hart and Apopka Regional Properties, LLP  
**Applicant:** Hanlex First Street, LLC  
**Engineer:** Hanlex Civil, LLC  
**Parcel I.D. No's:** 09-21-28-0196-10-040, 09-21-28-0196-10-064 and 09-21-28-0196-10-122  
**Location:** 180 East 1<sup>st</sup> Street  
**Total Acres:** 3.90 +/- Acres



### VICINITY MAP





### AERIAL MAP





# FIRST STREET RETAIL CENTER

SHEET 1 OF 2

A REPLAT OF LOTS 4, 5, 10, AND 11, AND A PORTION OF LOTS 6 AND 12, BLOCK A, TOWN OF APOPKA, AS RECORDED IN PLAT BOOK A, PAGES 87 TO 109 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA SECTION 9, TOWNSHIP 21 SOUTH, RANGE 28 EAST CITY OF APOPKA, ORANGE COUNTY, FLORIDA

**LEGAL DESCRIPTION:**

LOTS 4, 5, 10 AND 11, THE WEST 77.00 FEET OF LOT 6, AND THE WEST 77.00 FEET OF LOT 12, BLOCK A, TOWN OF APOPKA, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK A, PAGE(S) 87 TO 109 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHWEST CORNER OF AFORESAID LOT 4; THENCE RUN SOUTH 89°36'42" EAST ALONG THE COMMON NORTHERLY LINE OF AFORESAID LOTS 4, 5, AND 6, SAID LINE ALSO BEING THE SOUTHERLY RIGHT OF WAY OF FIRST STREET FOR A DISTANCE OF 470.84 FEET; THENCE DEPARTING SAID NORTHERLY LINE AND SOUTHERLY RIGHT OF WAY RUN SOUTH 00°24'57" WEST ALONG THE COMMON EASTERLY LINE OF AFORESAID WEST 77 FEET OF LOTS 6 AND 12 FOR A DISTANCE OF 361.08 FEET; THENCE DEPARTING SAID EASTERLY LINE RUN NORTH 89°36'42" WEST ALONG THE COMMON SOUTHERLY LINE OF AFORESAID LOTS 10, 11 AND 12, SAID LINE ALSO BEING THE NORTHERLY RIGHT OF WAY OF SECOND STREET FOR A DISTANCE OF 470.84 FEET; THENCE DEPARTING SAID SOUTHERLY LINE AND NORTHERLY RIGHT OF WAY RUN NORTH 00°24'57" EAST ALONG THE COMMON WESTERLY LINE OF AFORESAID LOTS 4 AND 10, SAID LINE ALSO BEING THE EASTERLY RIGHT OF WAY OF WASHINGTON AVENUE FOR A DISTANCE OF 361.08 FEET TO THE AFORESAID POINT OF BEGINNING.

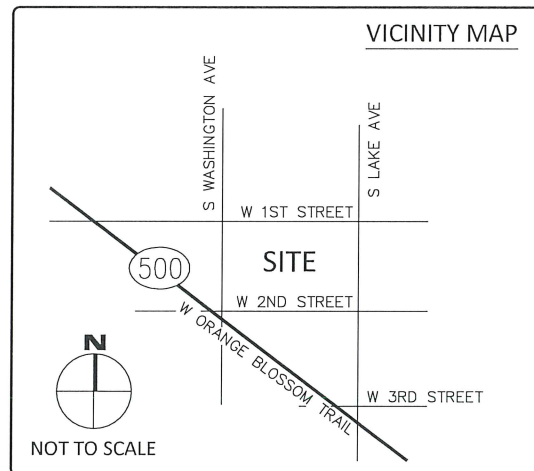
(CONTAINS 170,011 SQUARE FEET, OR 3.90 ACRES, MORE OR LESS)

**NOTES:**

- BEARINGS SHOWN HEREON ARE ASSUMED RELATIVE TO THE SOUTHERLY RIGHT OF WAY OF FIRST STREET AS HAVING A BEARING OF SOUTH 89°36'42" EAST.
- DEVELOPMENT ON THIS PROPERTY DEPICTED ON THIS PLAT IS SUBJECT TO THE REQUIREMENTS OF CHAPTER 59, THE CONCURRENCY MANAGEMENT ORDINANCE OF THE CITY OF APOPKA, WHICH GOVERNS THE CITY'S ABILITY TO ISSUE BUILDING PERMITS ON THIS PROPERTY. APPROVAL OF THIS PLAT SHALL NOT BE DEEMED TO PROVIDE ANY VESTED RIGHTS, EXCEPT AS TO THOSE MATTERS DEPICTED HEREON, THAT ARE CONSISTENT WITH THE REQUIREMENTS OF CHAPTER 177, FLORIDA STATUTES, OR WERE REQUIRED BY THE CITY OF APOPKA AS A CONDITION OF PLATTING.
- SUBJECT TO THE TERMS AND CONDITIONS AS SET FORTH IN THE DECLARATION OF RESTRICTIVE COVENANTS RECORDED IN BOOK 9959, PAGE 2599, BUT DELETING ANY COVENANT, CONDITION OR RESTRICTION INDICATING A PREFERENCE, LIMITATION OR DISCRIMINATION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN TO THE EXTENT SUCH COVENANTS, CONDITIONS OR RESTRICTIONS VIOLATE 42 USC 3604(C).
- ALL PLATTED UTILITY EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES, PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES, THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.

**SYMBOL AND ABBREVIATION LEGEND:**

- SET 4"x4" CONCRETE MONUMENT WITH DISK STAMPED P.R.M. LS# 6961
- ⊙ SET 1/2" NAIL AND DISK STAMPED P.C.P. LS# 6961
- ⊕ CENTERLINE
- P.B. PLAT BOOK
- PG. PAGE
- O.R. OFFICIAL RECORDS BOOK
- P.O.B. POINT OF BEGINNING
- R/W RIGHT OF WAY
- P.R.M. PERMANENT REFERENCE MONUMENT
- P.C.P. PERMANENT CONTROL POINT
- U.E. UTILITY EASEMENT
- S.E. STORM EASEMENT
- ND NAIL AND DISK
- CCR CERTIFIED CORNER RECORDS
- P.C. POINT OF CURVATURE
- P.C.C. POINT OF COMPOUND CURVATURE
- P.T. POINT OF TANGENCY
- P.I. POINT OF INTERSECTION



**SHEET INDEX:**

SHEET 1 OF 2 - LEGAL DESCRIPTION, DEDICATION, NOTES, AND LEGEND

SHEET 2 OF 2 - BOUNDARY GEOMETRY



NOTICE: THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

PLAT BOOK: PAGE:

**FIRST STREET RETAIL CENTER DEDICATION**

KNOW ALL BY THESE PRESENTS, That Hanlex First Street, LLC, a Florida corporation named below, being the owner in fee simple of the lands described in the foregoing caption to this plat, hereby dedicates said lands and plat for the uses and purposes therein expressed.

IN WITNESS THEREOF, has caused these presents to be signed and attested to by the officers named below on.

Hanlex First Street, LLC

By: \_\_\_\_\_

Printed Name

Attest: \_\_\_\_\_

Printed Name

Signed in the presence of:

By: \_\_\_\_\_

Printed Name

By: \_\_\_\_\_

Printed Name

STATE OF \_\_\_\_\_ COUNTY OF \_\_\_\_\_

THIS IS TO CERTIFY, That on \_\_\_\_\_ before me, an officer duly authorized to take acknowledgements in the State and County aforesaid, personally appeared \_\_\_\_\_ of the above named corporation

incorporated under the laws of Florida who is/are personally known to me or have produced the following identification \_\_\_\_\_ and who executed the foregoing dedication and acknowledged the execution thereof to be their free act and deed as such officers thereto duly authorized and that said dedication is the act and deed of said corporation.

IN WITNESS WHEREOF, I have hereto set my hand and seal on the above date.

NOTARY PUBLIC \_\_\_\_\_

My Commission Expires \_\_\_\_\_

**QUALIFICATION STATEMENT OF SURVEYOR AND MAPPER**

KNOW ALL BY THESE PRESENTS, That undersigned, being a professional surveyor and mapper that has prepared the foregoing plat and was made under my direction and supervision and that the plat complies with all of the survey requirements of Chapter 177, Florida Statutes; and that said land is located in the City of Apopka, Orange County, Florida.

Dated: \_\_\_\_\_ Signed: \_\_\_\_\_

Registration Number 6961 SHERRY L. MANOR, PSM  
L&S DIVERSIFIED, LLC  
LICENSED BUSINESS NUMBER 7829  
405 LAKE HOWELL ROAD, SUITE 1001  
MAITLAND, FL 32751

**CERTIFICATE OF APPROVAL BY MUNICIPALITY**

THIS IS TO CERTIFY, That on the \_\_\_\_\_, \_\_\_\_\_ approved the foregoing plat.

MAYOR

ATTEST: \_\_\_\_\_  
City Clerk

**CERTIFICATE OF APPROVAL BY PLANNING COMMISSION**

THIS IS TO CERTIFY that on \_\_\_\_\_, 2017 the Planning Commission of the City of Apopka approved the foregoing plat.

\_\_\_\_\_, Chairman

**CERTIFICATE OF APPROVAL BY CITY ENGINEER**

Examined and Approved: \_\_\_\_\_ Date: \_\_\_\_\_

City Engineer: \_\_\_\_\_

**CERTIFICATE OF REVIEWING SURVEYOR**

Reviewed for conformity to Florida State Statute 177

Licensed Surveyor: \_\_\_\_\_ Date: \_\_\_\_\_

Registration no. \_\_\_\_\_ Certificate of Authorization No. \_\_\_\_\_

**CERTIFICATE OF COUNTY COMPTROLLER**

I HEREBY CERTIFY that the foregoing plat was recorded in the Orange County Official Records on \_\_\_\_\_, 2017 as File No. \_\_\_\_\_

County Comptroller in and for Orange County, Florida

By: \_\_\_\_\_

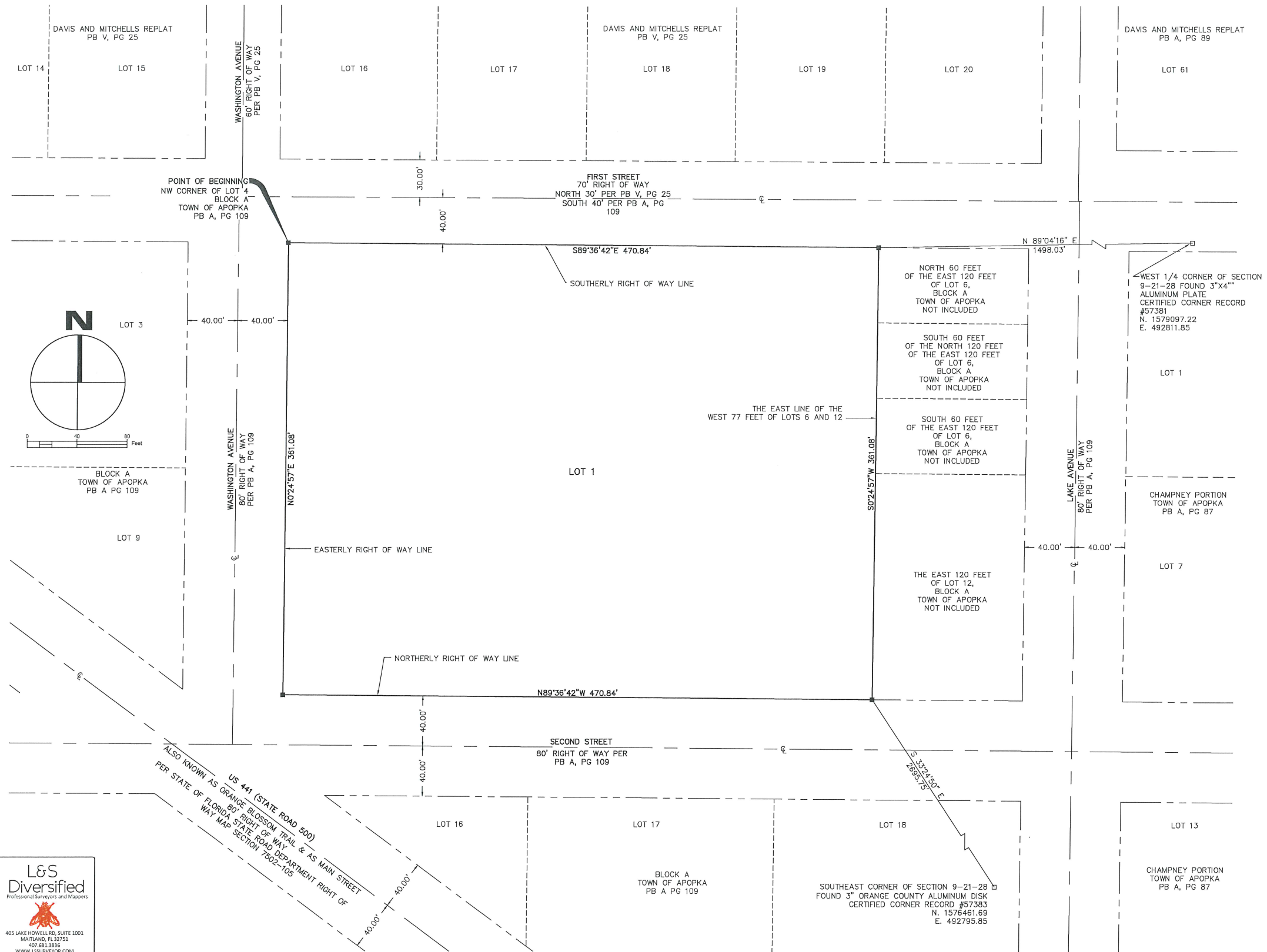
# FIRST STREET RETAIL CENTER

SHEET 2 OF 2

PLAT BOOK:

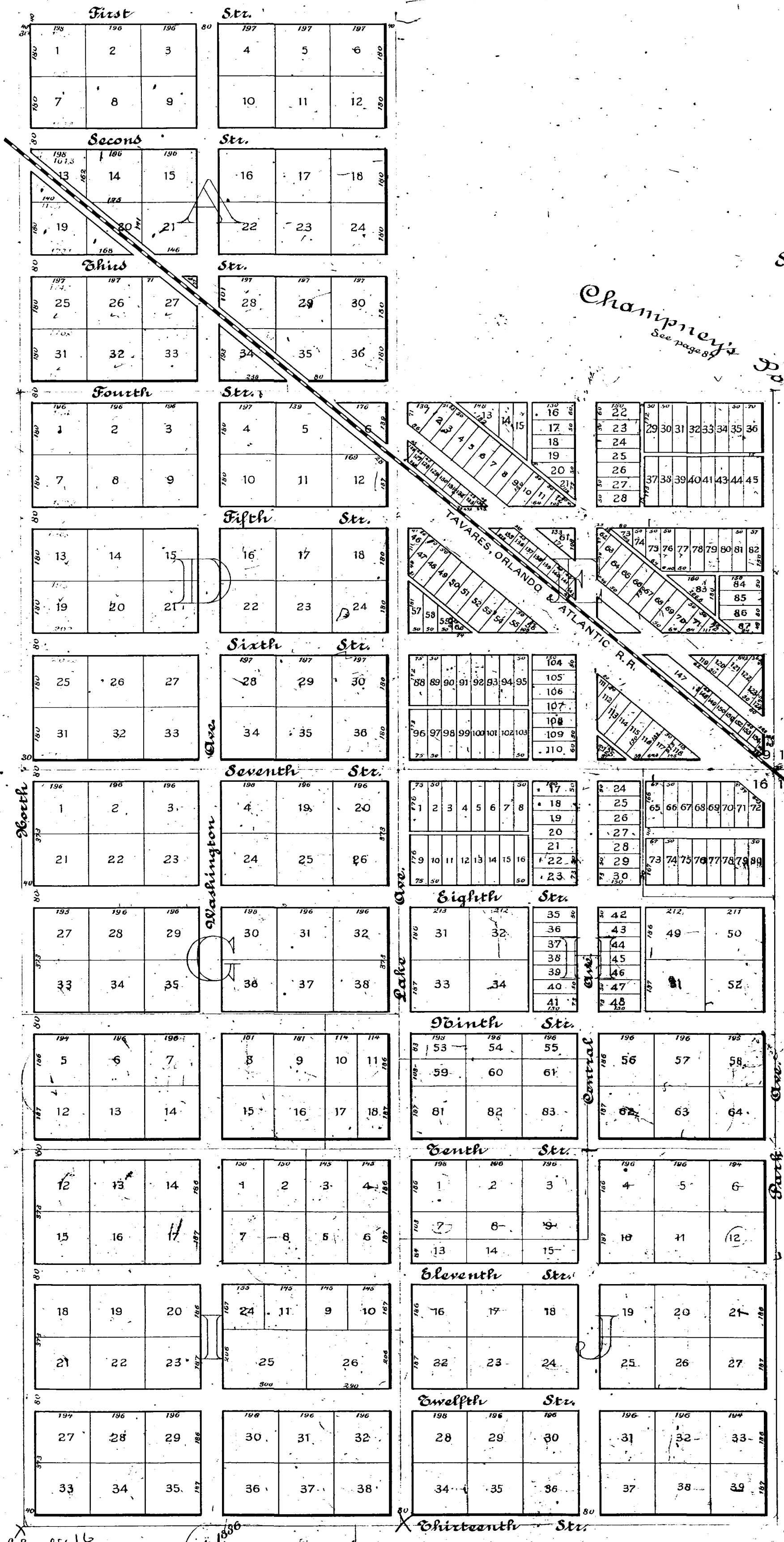
PAGE:

A REPLAT OF LOTS 4, 5, 10, AND 11, AND A PORTION OF LOTS 6 AND 12, BLOCK A, TOWN OF APOPKA,  
AS RECORDED IN PLAT BOOK A, PAGES 87 TO 109 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA  
SECTION 9, TOWNSHIP 21 SOUTH, RANGE 28 EAST  
CITY OF APOPKA, ORANGE COUNTY, FLORIDA



Approved Street Name  
Changed From: S. Lake Avenue  
To: Marvin C. Zanders Avenue  
Approved by Orange County: May 11, 2010

Davis and Hitchhills Addition  
See page 89



The Town of Apopka  
a portion of  
Sects. 9, 10, 15 & 16 - T. 21 S. - R. 28 E.  
Surveyed in February 1885  
by H. B. & S. H. Keenan  
Scale 300 ft. to 1 inch  
Transcribed by A. C. Albrick

- J. L. Sharp - N.E. five acres of the N.E. 1/4 of N.E. 1/4 (H) of Sec. 16.
- M. G. Wadsworth - N.W. 1/4 of S.E. 1/4 (A) except W 1/2, and S 1/2 of S.E. 1/4 (D & E) Sec. 9.
- F. H. Davis - N.E. 1/4 of N.E. 1/4 (H) of Sec. 16 except N.E. five acres and Lots 59, 60, 61, 81, 82, 83.
- E. C. Morgan - N. 1/2 of N.W. 1/4 of N.E. 1/4 (G) and S.W. 1/4 of N.E. 1/4 (I) of Sec. 16 except Lots 3, 4, 5, 6, 9 and 10.
- R. A. Parrish - S. 1/2 of N.W. 1/4 of N.E. 1/4 (G) of Sec. 16 except Lots 10, 11, 17 and 18.
- G. C. Manger - S.E. 1/4 of N.E. 1/4 (J) of Sec. 16 except Lots 1, 2, 3, 7, 8 and 9.
- T. O. & A. R. R. - W. 1/2 of N.W. 1/4 of S.E. 1/4 (A) Sec. 9, Lots 10, 11, 17 and 18 in N.W. 1/4 of N.E. 1/4 (G) of Sec. 16, Lots 59, 60, 61, 81, 82, and 83 in N.E. 1/4 of N.E. 1/4 (H) of Sec. 16, Lots 3, 4, 5, 6, 9 and 10 in S.W. 1/4 of N.E. 1/4 (I) of Sec. 16 and Lots 1, 2, 3, 7, 8 and 9 in S.E. 1/4 of N.E. 1/4 (J) of Sec. 16.

Note: The red figures in the West two (2) lots in Blocks 1 and 2 give the width of those lots after a roadway of the 1/2 sec. line on their West boundary made by S. P. Shepherd Dec. Co. Surv. July 1886.

SEE RESOLUTION TOWN OF APOPKA CITY RECORDED DEC. 29, 1956 IN O.R. BOOK 182 PAGE 81 CLOSING THAT PART OF 6TH STREET WITHIN A STRIP OF LAND 82 FEET MORE OR LESS NELY OF C/L OF SAL RY

SEE: OR 2614 PG. 985 CLOSING OF ALLEY BETWEEN SECOND ST AND THIRD ST EXTENDING FROM PARK AVE TO FOREST AVE BLOCK C AND REVISED C IN PLAT A PG. 104. RECORDED APRIL 21, 1975

SEE: Resolution No. 7506 Closing Alley running between Lots 199-209 and 216, revision block C and Lots 16 and W 1/2 of Lot 15 and 19-24. Block C, TOWN OF APOPKA as recorded in O.R. 2626 pg. 962.

SEE: RESOLUTION CITY OF APOPKA RECORDED IN O.R. 2552 PAGE 161, DATED JULY 29, 1974 CLOSING ALLEY RUNNING THROUGH LOTS 46 TO 53 AND 57 TO 60. BLOCK E, TOWN OF APOPKA D-874 109 OWNED BY WILSON AND CAROL HAMRICK. SEE O.R. BOOK 2570 PAGE 757 DATED SEPT. 25, 1974. RESOLUTION AMENDING RESOLUTION NO. 7411 CORRECTING TO READ D-874 109 TO READ A-874 109.

SEE: RESOLUTION CITY OF APOPKA, RECORDED IN O.R. BOOK 2753 PAGE 1451 DATED SEPT. 4, 1974. RESOLUTION CLOSING ALLEY ALLEY RUNNING DIAGONALLY BETWEEN LOTS 1-6 AND LOTS 13 IN TOWN OF APOPKA, BLOCK E-A-109.

CITY OF APOPKA SEE RESOLUTION CLOSING PORTION OF ALLEY RUNNING NORTHWEST AND SOUTHWEST THROUGH BLOCK "E" BETWEEN FIFTH STREET AND SIXTH STREET AND CENTRAL AVE AND PARK AVE. ON THE EAST AND WEST. SEE O.R. BOOK 2656 PAGE 738 FOR MORE DETAILED INFORMATION. RESOLUTION WAS APPROVED BY APOPKA TOWN COUNCIL DEC. 5, 1956

RESOLUTION CLOSING PORTION OF THIRD ST. BOUNDED BY 441 ON THE EAST AND BY S.A.L. RAILROAD. SEE: O.R. 3183 PG. 1397.

RESOLUTION AMENDING LEGAL DESCRIPTION, CLOSING A PORTION OF THIRD ST. BOUNDED BY 441 ON THE EAST AND BY S.A.L. RAILROAD ON THE WEST. RECORDED IN O.R. 3209 PG. 669.

CLOSING PORTION OF ALLEY RUNNING EAST AND WEST BETWEEN LOTS 73 THRU 81 AND LOTS 89 THRU 97, BLK. E. RECORDED IN O.R. 3211 PG. 304.

DEPRIVAGE AND UTILITIES EASEMENT, THE NORTH 20 FT. OF THE WEST 146 FT. OF LOT 14, BLK. G. RECORDED IN O.R. BK. 3279 PG. 1892 FILED 5-7-82 FILED

Filed and recorded Alan 4th 1886  
By [Signature]

**Backup material for agenda item:**

2. FINAL DEVELOPMENT PLAN – SHOOT STRAIGHT WAREHOUSE ADDITION –Owned by Shoot Straight Holding Co., Inc., property located at 1351 Tropicana Circle. (Parcel ID #: 13-21-28-5300-02-040; 13-21-28-5300-02-060; 13-21-28-5300-02-018; 13-21-28-5300-02-080)



## CITY OF APOPKA PLANNING COMMISSION

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<input type="checkbox"/> PUBLIC HEARING	MEETING OF: August 8, 2017
<input checked="" type="checkbox"/> SITE PLAN	FROM: Community Development
<input type="checkbox"/> SPECIAL REPORTS	EXHIBITS: Vicinity/Aerial Maps
<input type="checkbox"/> OTHER:	Site/Landscape Plan
	Architectural Renderings

---

**SUBJECT: FINAL DEVELOPMENT PLAN - SHOOT STRAIGHT WAREHOUSE ADDITION – PHASE 4**

**REQUEST: RECOMMEND APPROVAL OF THE FINAL DEVELOPMENT PLAN FOR SHOOT STRAIGHT WAREHOUSE ADDITION – PHASE 4.**

---

**SUMMARY:**

OWNER/APPLICANT: Shoot Straight Holding Co., LLC

ENGINEER: American Civil Engineering Co., c/o John Herbert, P.E.

LOCATION: 1351 Tropicana Circle (generally located north of Kenneth Street, east of S Orange Blossom Trail).

PARCEL ID NUMBERS: 13-21-28-5300-02-040; 13-21-28-5300-02-060; 13-21-28-5300-02-018; 13-21-28-5300-02-080

LAND USE: Commercial

ZONING: C-1

EXISTING USE: Vacant (former Mobile Home Park was demolished)

PROPOSED USE: Expansion of Shoot Straight indoor gun range & firearm sales

TRACT SIZE: 3.8 +/- acres development site\ 6.37 acres overall

BUILDING SIZE: 32,856 S.F.

BUILDING HEIGHT: 24 feet

FLOOR AREA RATIO: 0.12

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**FUNDING SOURCE:**

N/A

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**DISTRIBUTION**

Mayor Kilsheimer  
Commissioners  
City Administrator  
Community Development Director

Finance Director  
HR Director  
IT Director  
Police

Public Services Director  
Recreation Director  
City Clerk  
Fire Chief

**RELATIONSHIP TO ADJACENT PROPERTIES:**

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Medium (0-10 du/ac)	A-1 (ZIP)	Vacant
East (County)	Rural (0-1 du/10 ac)	A-1	Vacant
South (City)	Commercial (max 0.25 FAR)	C-2	R-O-W, Retail & Billboard
West (City)	Commercial (max 0.25 FAR)	C-1	Retail & Gun Range (Shoot Straight)

**ADDITIONAL COMMENTS:** The Final Development Plan proposes 32,856 square feet of additional commercial retail next to an existing 30,000 +/-sq. ft. of retail commercial\warehousing. The site is located north of Tropicana Circle and east of Orange Blossom Trail

**PARKING:** A total of 39 parking spaces are being added to the site to for Phase 4 in accordance with LDC 6.03.02. Two (2) of the 39 parking spaces are reserved as handicapped parking spaces. The overall combined number of parking spaces for Phases 1-4 is 117. The total is also in accordance with LDC 6.03.02.

**EXTERIOR ELEVATIONS:** The design of the building exterior meets the intent of the City’s Development Design Guidelines. Architectural renderings appear at the last page of the Final Development Plan. Exterior colors will be the same as the existing buildings.

**STORMWATER:** Stormwater run-off and drainage will be accommodated by an on-site retention pond. The on-site stormwater management system is designed to meet standards set forth in the Land Development Code.

**BUFFER/TREE PROGRAM:** A minimum ten foot landscape buffer is provided along Orange Blossom Trail and Tropicana Circle. The applicant has provided a detailed landscape and irrigation plan for the property. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069.

The following is a summary of the tree replacement program for this project:

Total inches on-site:	1,054
Total number of specimen trees:	28
Total specimen removed:	13
Total specimen inches retained:	48
Total specimen inches removed:	357
Total non-specimen inches removed:	551
Total non-specimen inches retained:	98
Total inches replaced:	27
Total inches post development:	1,054

**TREE PROGRAM:** The City’s Land Development Code and Tree Bank policy permit the applicant to make a contribution to the City’s Tree Bank to mitigate the remaining deficient tree inches at \$10.00 per inch. The total amount required to be paid into the Tree Bank will be \$4,068 dollars.

**PUBLIC HEARING SCHEDULE:**

August 8, 2017 – Planning Commission (5:30 pm)

August 16, 2017 - City Council (7:00 pm)

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**RECOMMENDATION ACTION:**

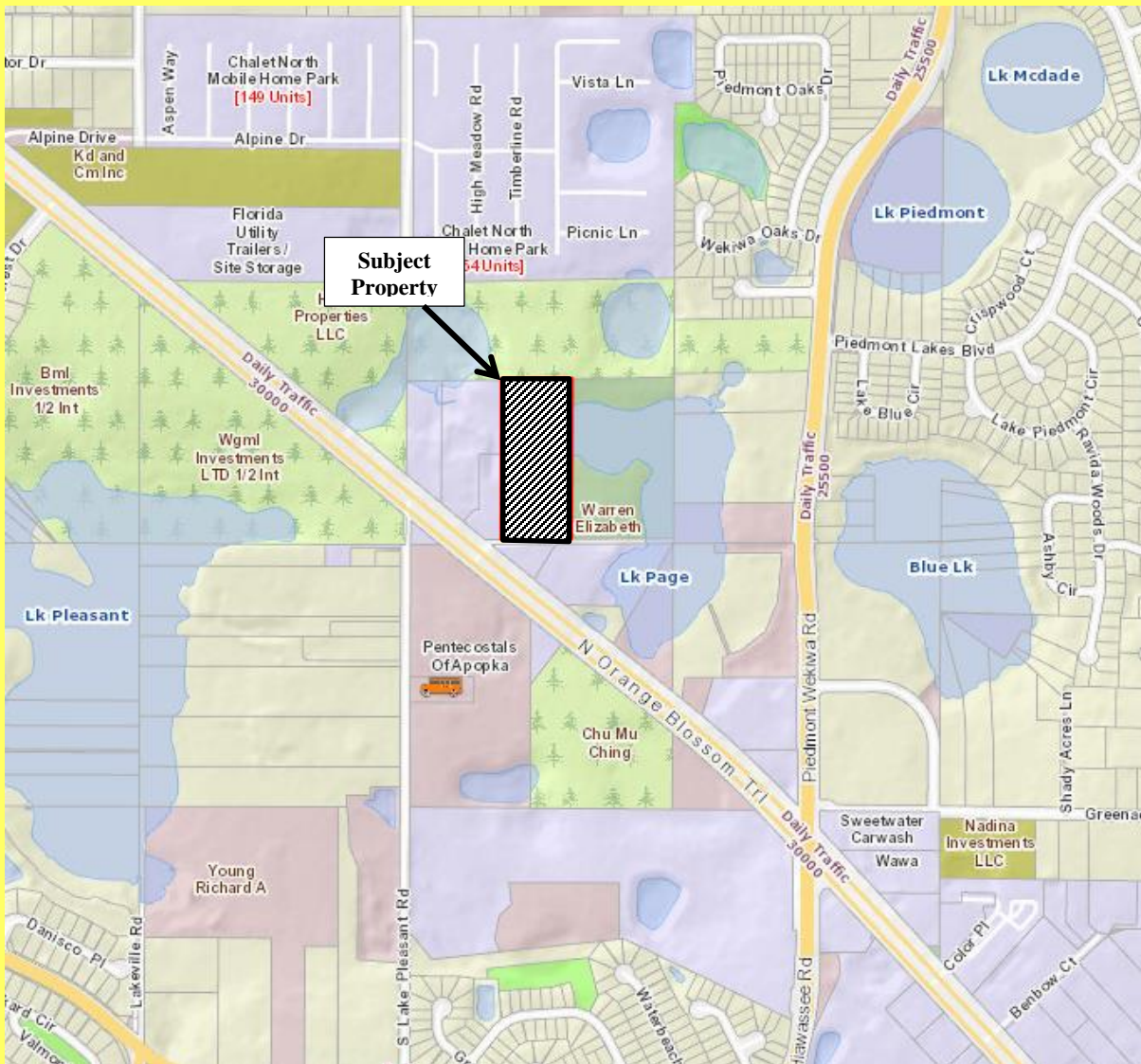
The **Development Review Committee** finds the Final Development Plan to be consistent with the approved Preliminary Development Plan and Land Development Code, recommending approval of the Shoot Straight Warehouse Phase 4 - Final Development Plan subject to the findings of this staff report.

Recommend approval of the Shoot Straight Final Development Plan, subject to the findings of this staff report.

**Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.**

**Application:** Shoot Straight Warehouse Addition Phase 4 – Final Development Plan  
**Owner/Applicant:** Shoot Straight Holding Co., LLC  
**Engineer:** American Civil Engineering Co., c/o John Herbert, P.E.  
**Parcel I.D. No's:** 13-21-28-5300-02-040; 13-21-28-5300-02-060; 13-21-28-5300-02-018;  
13-21-28-5300-02-080  
**Location:** 1351 Tropicana Circle  
**Total Acres:** 3.8 +/- Acres

### VICINITY MAP







## AERIAL MAP



# Final Development Plan / Major Site Plan

## Shoot Straight Warehouse Addition - Ph. 4

### Apopka, Florida

1349 S. Orange Blossom Trail  
Apopka, Florida 32703



VICINITY MAP  
NOT TO SCALE  
SEC. 13 TWP. 21 S RGE. 28 E

PARCEL I.D. #(S)	
13-21-28-5300-02-040	PHASES 1, 2, 3
13-21-28-5300-03-060	PHASES 1, 2, 3
13-21-28-0000-00-018	PHASE 4
13-21-28-0000-00-080	FUTURE

DEVELOPMENT SUMMARY: PROPOSED PHASE 4

SHOOT STRAIGHT WAREHOUSE PHASE 4 IS A PROPOSED 32,856 SQ. FT. SINGLE STORY BUILDING WITH INDOOR STORAGE. THE NEW WAREHOUSE WILL BE CONNECTED TO THE EXISTING SHOOT STRAIGHT WAREHOUSE.

SPECIAL REQUESTS:

NO VARIANCES ARE REQUESTED  
NO WAIVERSS ARE REQUESTED

LEGAL DESCRIPTION:

LOTS 10, 11, 12, 13, 14, 15 AND 16, BLOCK C OF F.B. LYNCH'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK H, PAGE(S) 88, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; TOGETHER WITH ALL THAT UNPLATTED PORTION LYING NORTH OF LOTS 10, 11, 12, 13, 14, 15 AND 16, BLOCK C OF F.B. LYNCH'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK H, PAGE(S) 88, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

146

DATE	REVISIONS
07.21.17	REVISED PER CITY REVIEW COMMENTS
05.30.17	REVISED PER CITY REVIEW COMMENTS

PROJECT DIRECTORY

PROPERTY OWNER:	SSI HOLDING CO. LLC 1349 S. Orange Blossom Trail Apopka, Florida 32703 (407) 889-7662
GENERAL CONTRACTOR:	Birchmier Construction 549 N. Wymore Road, Suite 206 Maitland, Florida 32751 Randy Birchmier (407) 786-9724
CIVIL ENGINEER:	American Civil Engineering Co. 207 N. Moss Road, Suite 211 Winter Springs, Florida 32708 John Herbert, P.E. (407) 327-7700
ARCHITECT:	Valiente Architect LLC 715 Grand Circle Temple Terrace, Florida 33617 Eduardo Valiente (813) 956-1545
LAND SURVEYOR:	Accuright Surveys of Orlando, Inc. 2012 E. Robinson Street Orlando, Florida 32803 Frank Raymond, PSM (407) 894-6314
WETLAND CONSULTANT:	Bio-Tech Consulting, Inc. 2002 East Robinson St. Orlando, Florida 32803 Steve Butler (407) 894-5969

INDEX OF SHEETS

SHEET	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES
3	DEMOLITION PLAN
4	DEVELOPMENT PLAN
5	GEOMETRY PLAN
6	UTILITY PLAN
7	PAVING / GRADING / DRAINAGE PLAN
8	TYPICAL SECTIONS & DETAILS
9	SITE CONSTRUCTION DETAILS
10	LANDSCAPE PLAN
11	LANDSCAPE DETAILS
12	IRRIGATION PLAN
13	IRRIGATION DETAILS
14 (G-4)	CITY OF APOPKA UTILITY DETAILS
15	TREE REMOVAL AND PRESERVATION PLAN
E9	PHOTOMETRIC SITE PLAN DETAILS
E10	PHOTOMETRIC SITE PLAN - ILLUMINATION
A3.10	TREE REMOVAL AND PRESERVATION PLAN



Final Development Plan / Major Site Plan

Shoot Straight Warehouse Addition-Ph. 4  
Apopka

1349 S. Orange Blossom Trail, Apopka, Florida 32703



Plans issued for:	Cover Sheet
<input checked="" type="checkbox"/> final engineering	project no. 12054
<input type="checkbox"/> construction	
<input type="checkbox"/> record drawings	1 of 15

JUL 21 2017

SEC. A GENERAL CONSTRUCTION NOTES:

- 1. THE FOLLOWING GENERAL NOTES APPLY TO ALL CONSTRUCTION AS DEPICTED ON THE SITE CONSTRUCTION PLANS.
2. ALL PROPOSED SITE CONSTRUCTION SHALL BE PURSUANT TO INFORMATION SHOWN ON THESE PLANS AS APPROVED BY THE GOVERNING AUTHORITIES.
3. ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE STATE, FEDERAL AND LOCAL CODES, ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT THEIR EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS AND TO BE RESPONSIBLE FOR THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL CONDITIONS CONTAINED THEREIN.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING A VISUAL INSPECTION OF THE SITE PRIOR TO BIDDING AND ACCEPTING THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION OF ALL UNDERGROUND AND ABOVE GROUND STRUCTURES THAT WILL NOT BE INCORPORATED WITH THE NEW FACILITIES. SHOULD ANY DISCREPANCIES EXIST WITH THE PLANS THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PROJECT ENGINEER AND REQUESTING A CLARIFICATION OF THE PLANS PRIOR TO DEMOLITION.
5. ANY PROPOSED FIELD CHANGES WHICH SUBSTANTIALLY DEVIATE FROM THIS PLAN SHALL BE APPROVED BY THE GOVERNING AUTHORITIES AND THE ENGINEER PRIOR TO THE CHANGE TO BE MADE IN THE FIELD.
6. ALL WORK AND MATERIALS FURNISHED SHALL BE IN REASONABLE CONFORMANCE WITH THE LINES, GRADES, GRADING SECTIONS, CROSS SECTIONS, DIMENSIONS, MATERIAL REQUIREMENTS AND TESTING REQUIREMENTS THAT ARE SPECIFIED IN THE CONTRACT, PLANS OR SPECIFICATIONS.
7. ANY DISCREPANCY BETWEEN THE CONSTRUCTION INFORMATION SHOWN ON THE PLANS AND THE ACTUAL FIELD CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ENGINEER'S ATTENTION. FAILURE TO DO SO AND CONTINUE CONSTRUCTION WITHOUT WRITTEN NOTIFICATION SHALL MAKE THE CONTRACTOR COMPLETELY LIABLE FOR WHATEVER ACTIONS AND/OR ERRORS THAT MAY SUBSEQUENTLY ARISE.
8. ALL IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH INFORMATION SHOWN ON THESE PLANS. ANY CONFLICTS WHICH RESULT IN CHANGES TO THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN WRITING PRIOR TO REVIEW AND APPROVAL PRIOR TO FIELD CHANGES. MINOR ADJUSTMENTS CAUSED BY VARYING FIELD CONDITIONS, INCLUDING CHANGES AND DEPTHS OF BENCHES AND SWALES MAY BE MADE WITH THE APPROVAL OF THE ENGINEER IF THE BASIC DESIGN INTENT IS MET.
9. THE INTENT AND/OR INTERPRETATION OF THESE CONSTRUCTION PLANS IF REQUIRED, SHALL BE MADE BY THE ENGINEER OF RECORD. ANY NEED BY THE CONTRACTOR FOR CLARIFICATION OR FOR INTERPRETATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER UPON DISCOVERY. NO A.D.A. TRAVEL ROUTES SHALL EXCEED A 5% SLOPE. NO A.D.A. PARKING SPACES SHALL EXCEED A 5% SLOPE. EXISTING DRIVEWAYS SHALL NOT EXCEED AN 8% SLOPE. VERTICAL CURVES SHALL HAVE A LENGTH OF 20 FT. MIN. AT CREST AND SAG LOCATIONS.
10. ALL HORIZONTAL LAYOUT FOR SITE CONSTRUCTION SHALL BE BASED ON THE APPROVED PLAN AND/OR PLAT, AND PERFORMED BY QUALIFIED PERSONNEL.
11. ALL ELEVATIONS REFER TO THE DATUM AS INDICATED ON THE SURVEY (BY OTHERS).
12. THE CONTRACTOR SHALL TAKE CARE DURING THE CONSTRUCTION TO AVOID DISTURBING ANY EXISTING SURVEY MONUMENTS. ANY MONUMENT DISTURBED BY THE CONTRACTOR SHALL BE RESET AT THE CONTRACTOR'S EXPENSE BY THE PROJECT SURVEYOR.
13. THE CONTRACTOR SHALL HIRE A PROFESSIONAL TESTING LABORATORY AS NECESSARY TO PERFORM ALL TESTS REQUIRED BY THIS CONSTRUCTION.
14. THE CONTRACTOR SHALL NOTIFY AMERICAN CIVIL ENGINEERING COMPANY 24 HOURS IN ADVANCE PRIOR TO ANY TESTING AND SUPPLY ENGINE WITH REQUIRED TEST RESULTS.
15. THE DESIGN AND ENGINEERING OF THIS PROJECT IS BASED ON INFORMATION SUPPLIED BY OTHERS. EASEMENTS OR OTHER ENCUMBRANCES, WHICH MAY EXIST AND NOT SHOWN ON THE SURVEY ARE NOT THE RESPONSIBILITY OF THE ENGINEER.
16. EXISTING SOIL CONDITIONS WHICH DIFFER FROM THE SOILS REPORT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AT THE TIME OF DISCOVERY.
17. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS CONTROLLING POLLUTION OF THE ENVIRONMENT AND EROSION/SEDIMENT CONTROL.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE BUFFER AND RETENTION AND DETENTION FACILITIES UNTIL THE WORK HAS BEEN ACCEPTED BY THE OWNER. ALL DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
19. ANY FUEL STORAGE AREAS SHALL HAVE PRIOR OWNERS APPROVAL AND APPROPRIATE MEASURES SHALL BE TAKEN TO INSURE PROTECTION OF GROUNDWATER AND SOIL RESOURCES.
20. SITE WORK PERFORMED ON THIS PROJECT SHALL INTERFACE SMOOTHLY WITH OTHER WORK BEING PERFORMED ON SITE BY OTHER CONTRACTORS TO COORDINATE AND SCHEDULE HIS ACTIVITIES, WHEN AND WHERE OTHER CONTRACTORS AND UTILITY COMPANIES.
21. THE INFORMATION ON THESE CONSTRUCTION PLANS ARE SUBJECT TO APPROVAL BY THE CITY, COUNTY, STATE AND FEDERAL AGENCIES. ALL WORK SHALL BE PURSUANT TO APPROVED PLANS AND ISSUED PERMITS.
22. ALL CONSTRUCTION DEBRIS AND OTHER WASTE MATERIAL SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
23. THE EXISTENCE AND LOCATION OF EXISTING UNDERGROUND UTILITIES ARE NOT GUARANTEED AND SHALL BE INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO INSTALLATION OF UNDERGROUND PIPES, FOOTERS OR EXCAVATION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY OF LOCATION OF EXISTING UTILITIES SHOWN OR NOT SHOWN SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE ALL NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS OF THESE UTILITIES WITH THE OWNER OF THE UTILITY.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COST WHICH MAY OCCUR DUE TO TO ANY DAMAGES CAUSED BY THE CONTRACTOR TO EXISTING UTILITY STRUCTURES OR PROPERTY. THE CONTRACTOR SHALL COVER THE ENTIRE COSTS OF ALL REPAIRS AND/OR REPLACEMENT.
25. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS OF BURIED UTILITIES AND SHALL PROVIDE AT LEAST 48 HOURS NOTICE TO THE VARIOUS AFFECTED UTILITY COMPANIES IN ORDER TO PERMIT MARKING THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES IN ADVANCE OF CONSTRUCTION, BY CALLING "SUNSHINE" AT 1-800-432-4770 OR 811. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITIES NOT INCLUDED IN THE "SUNSHINE" PROGRAM.
26. CHAPTER 77-153 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO WORKING DAYS PRIOR TO EXCAVATING. MAPS SHOW ONLY THE APPROXIMATE LOCATION OF GAS MAINS AND DO NOT SHOW SERVICE LINES. THE ONLY SAFE AND CORRECT WAY TO LOCATE EITHER MAINS OR SERVICE LINES IS BY AN ON-SITE INSPECTION BY THE RESPECTIVE GAS COMPANY PERSONNEL. THE CONTRACTOR SHALL BE INSTRUCTED TO CONTACT THE RESPECTIVE GAS COMPANY TWO WORKING DAYS BEFORE ENTERING A CONSTRUCTION AREA.
27. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF THE PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO WATER, SEWER, ELECTRIC POWER, TELEPHONE, GAS AND CABLE TV COMPANIES. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND CONDUITS (INCLUDING IRRIGATION) PRIOR TO SUB-BASE CONSTRUCTION.
28. UPON NOTICE FROM THE CONTRACTOR THAT CONSTRUCTION IS COMPLETE AND READY FOR ACCEPTANCE, THE ENGINEER SHALL MAKE FINAL INSPECTION AND NOTIFY THE CONTRACTOR AND OWNER OF ANY INCOMPLETE AND/OR DEFECTIVE WORK. THE CONTRACTOR SHALL CORRECT ALL SUCH ITEMS TO THE SATISFACTION OF THE ENGINEER AND OWNER. ALL REGULATORY AND GOVERNMENTAL AGENCIES WHICH REQUIRE FINAL INSPECTIONS SHALL HAVE BEEN CONTACTED BY THE CONTRACTOR AND HAVE INSPECTED AND APPROVED THE PROJECT PRIOR TO ACCEPTANCE BY THE OWNER.
29. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED PLANS AND PERMITS AT THE CONSTRUCTION SITE. THE PLANS SHALL BE KEPT IN GOOD ORDER.
30. THE CONTRACTOR SHALL PROVIDE COMPLETE "AS-BUILT" INFORMATION TO THE ENGINEER RELATIVE TO THE LOCATION OF ALL WATER LINES, WATER SERVICES, VALVES, SEWER LINES, SEWER SERVICES, STORM LINES, INVERTS OF STRUCTURES, FINAL RETENTION AREAS, FINISH PAVEMENT GRADES AND CONSTRUCTION BENCH MARKS FOR VERIFICATION. THE "AS-BUILT" RECORDS SHALL BE KEPT AT THE JOB SITE AND UPDATED AS THE PROJECT PROGRESSES. ONE (1) SET OF AS-BUILT PLANS ARE TO BE PROVIDED TO THE ENGINEER.
31. ENGINEER TO PROVIDE RECORD DRAWINGS AND CERTIFICATIONS TO THE ISSUED PERMITS.

48 HOURS BEFORE DIGGING CALL TOLL FREE

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SUNSHINE STATE ONE CALL OF FLORIDA, INC.

SEC. B EARTHWORK:

- 1. EXISTING TOPOGRAPHY AND CONTOURS ARE BASED ON THE SURVEY (BY OTHERS).
2. A GEOTECHNICAL SOILS REPORT HAS BEEN PREPARED FOR THIS PROJECT. CONFLICT BETWEEN INFORMATION AND REPAIRS OR MAINTENANCE SHALL BE COMPLETED BEFORE WORK STOPS FOR THE DAY.
3. THE CONTRACTOR SHALL READ AND ADHERE TO ALL RECOMMENDATIONS CONTAINED IN THE SOILS REPORT.
4. EXISTING TREES, PLANTS AND SHRUBS WHICH ARE MARKED OR DESIGNATED AS PART OF THE LANDSCAPING SHALL BE CAREFULLY PROTECTED DURING CONSTRUCTION. WHERE TREES, PLANTS OR SHRUBS ARE ADJACENT TO THE CONSTRUCTION CARE SHALL BE TAKEN TO PROTECT AND RESTORE THE ORIGINAL CONDITIONS OF THE VEGETATION.
5. DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES, AS NECESSARY.
6. ALL SITE CLEARING AND GRUBBING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 110 OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
7. ALL EXCAVATION AND EMBANKMENT SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 120 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
8. ALL FILL AREAS GREATER THAN 12 INCHES IN HEIGHT SHALL BE COMPACTED IN 12 INCH LIFTS (MEASURE PRIOR TO COMPACTION) TO 98% MAXIMUM DENSITY PER A.A.S.T.M. 7-100.
9. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED UNLESS OTHERWISE NOTED ON THESE PLANS. ALL GRASSING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 570 OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
10. ALL DESIGNATED AREAS TO BE SOODED PER THE PLANS, SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 575 OF THE F.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
11. THE CONTRACTOR SHALL NOT COMPACT, STABILIZE, OR CONSTRUCT BASE COURSE WITHIN LANDSCAPE ISLANDS OR MEDIAN.
12. FINISH FLOOR ELEVATIONS ARE TYPICALLY INDICATED ABOVE DESIGN FINISHED GRADE AT OUTSIDE PERIMETER OF BUILDINGS EXCEPT AT ENTRIES AND WHERE OTHERWISE SHOWN ON THE GRADING PLAN.
13. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO CONTROL DUST, MUD AND EROSION DURING CONSTRUCTION AND SHALL PROTECT ALL ADJACENT PROPERTIES AND RIGHTS-OF-WAY FROM DAMAGE BY EROSION, SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED DUST.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXISTING SITE AND SOIL CONDITIONS AND DETERMINE IF ANY OFF-SITE MATERIALS WILL NEED TO BE IMPORTED TO ACHIEVE THE GRADES SPECIFIED ON THE PLANS.
15. ALL EXCESS FILL FROM THE SITE SHALL BE STOCKPILED BY THE CONTRACTOR, IN A LOCATION DETERMINED BY THE OWNER OR THE OWNER'S REPRESENTATIVE AND THE ENGINEER.
16. ALL AREAS INDICATED SHALL BE COMPLETELY CLEAR OF ALL TIMBER, BRUSH, STUMPS PRIOR, GRASS, WEEDS, RUBBISH, AND ALL OTHER DEBRIS AND OBSTRUCTIONS RESTING ON OR PROTRUDING FROM THE SURFACE OF THE LAND.
17. PRIOR TO BID PREPARATION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE OVERALL SITE CONDITIONS AND PERFORM ADDITIONAL INVESTIGATIONS AS DETERMINED NECESSARY TO UNDERSTAND THE LIMIT AND DEPTH OF EXPECTED ORGANIC SILT PEAT AREAS. ADEQUACY OF EXISTING MATERIALS AS FILL, INCLUDING REQUIREMENTS, CLEAN FILL REQUIRED FROM OFF-SITE AND MATERIALS TO BE DISPOSED OF OFF-SITE, ALL OF WHICH WILL AFFECT PRICING. ANY DELAY, INCONVENIENCE OR EXPENSE CAUSED TO THE CONTRACTOR DUE TO INVESTIGATION OF EXISTING CONDITIONS SHALL BE INCIDENTAL TO THE CONTRACT, AND NO EXTRA COMPENSATION WILL BE ALLOWED. THE MATERIALS ANTICIPATED TO BE ENCOUNTERED DURING CONSTRUCTION MAY REQUIRE DRIVING FROM USE AS BACKFILL, AND THE CONTRACTOR MAY HAVE TO IMPORT MATERIAL FROM OFF-SITE TO MEET THE REQUIREMENTS FOR COMPACTION AND PROPER FILL.

SEC. C DRAINAGE:

- 1. ALL DRAINAGE RELATED CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ST. JOHNS RIVER WATER MANAGEMENT DISTRICT PERMIT ISSUED FOR THIS PROJECT.
2. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
3. THE ABOVE F.D.O.T. CONSTRUCTION DETAILS ARE HEREBY INCORPORATED THESE PLANS BY REFERENCE.
4. PIPE LENGTHS SHOWN REPRESENT SCALED DIMENSIONS BETWEEN CENTER-LINES OF DRAINAGE STRUCTURES AND FROM END OF HEADWALLS AND INTERFERED END SECTIONS. CONTRACTOR SHALL ADJUST FOR PIPE LENGTHS WHEN BIDDING MITERED END SECTIONS.
5. ALL STORMWATER DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE (ASTM C-76, CLASS B) UNLESS NOTED OTHERWISE.

SEC. D PAVING:

- 1. ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH F.D.O.T. CURRENT CONSTRUCTION SPECIFICATIONS.
2. ALL PAVED SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADING TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTHLY TRANSITIONED DRAINING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTIONS AND DRIVEWAYS AND EXIT CORNERS TO INTERSECTIONS SHALL BE GRADUALLY RAMPED IN THE FIELD TO INSURE A SMOOTH AND UNIFORM CONNECTION. IN THESE AREAS, IT MAY ALSO BECOME ADVISABLE TO MAKE MINOR FIELD ADJUSTMENTS IN PAVEMENT GRADES TO ACCOMPLISH GRADE TRANSITIONS.
3. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEMS OF TREES SHOWN TO BE SAVED. THE CONTRACTOR IS TO COORDINATE WITH THE ENGINEER PRIOR TO ANY ELEVATION CHANGES.
4. PRIOR TO CONSTRUCTING CONCRETE PAVEMENT, THE CONTRACTOR IS TO SUBMIT A PROPOSED JOINTING PATTERN TO THE ENGINEER FOR APPROVAL.
5. THE CONTRACTOR IS TO PROVIDE A 1/2" BITUMINOUS EXPANSION JOINT MATERIAL AT ABUTMENT OF CONCRETE AND ANY STRUCTURE.
6. ALL ON-SITE PAVEMENT MARKINGS SHALL BE MADE WITH NON-THERMOPLASTIC PAINT TO FOOT STANDARD SPECIFICATIONS. PARKING STRIPING TO BE 4" WIDE.
7. THE CONTRACTOR IS TO INSTALL EXTRA BASE MATERIAL WHEN THE DISTANCE BETWEEN THE PAVEMENT ELEVATION AND THE TOP OF THE PIPE OR BELL IS LESS THAN 12 INCHES. SEE "EXTRA BASE FOR CROSS CULVERTS UNDER FLEXIBLE PAVEMENT DETAIL."
8. CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS. CONCRETE FOR CURBS SHALL BE DEPARTMENT OF TRANSPORTATION CLASS "1" CONCRETE WITH A 28-DAY COMPRESSION STRENGTH OF 3000 PSI. ALL CURBS SHALL HAVE SAW CUT JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTER. CONSTRUCTION OF CURBS SHALL BE IN CONFORMANCE WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS.
9. PAVEMENT MARKINGS AND SIGNAGE SHALL BE PROVIDED AS SHOWN ON THE CONSTRUCTION PLANS AND SHALL MEET THE REQUIREMENTS OF THE PUBLIC WORKS DEPARTMENT. SIGNAGE SHALL BE IN CONFORMANCE WITH MUTCD (LATEST EDITION). A 14 DAY PAVEMENT CURING TIME WILL BE PROVIDED PRIOR TO APPLICATION OF THE PAVEMENT MARKINGS. REFLECTIVE PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH FOOT INDEX NO. 17352.
10. A MINIMUM OF 2-WAY TRAFFIC SHALL BE MAINTAINED IN THE WORK SITE AREA. ALL CONSTRUCTION WARNING SIGNAGE SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND BE MAINTAINED THROUGHOUT CONSTRUCTION. ACCESS SHALL BE CONTINUOUSLY MAINTAINED FOR ALL PROPERTY OWNERS SURROUNDING THE WORK AREA. LIGHTED WARNING DEVICES ARE TO BE OPERATIONAL PRIOR TO DUSK EACH NIGHT DURING CONSTRUCTION.

SEC. E EROSION CONTROL:

- 1. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING, EXCAVATION, FILLING OR OTHER LAND DISTURBING ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SUCH MEASURES OR UNDERGROUND UTILITIES INSTALLATIONS.
2. DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO INSURE AGAINST POLLUTING, SILTING OR DISTURBING TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE EXISTING DRAINAGE SYSTEM AND ADJACENT WATER BODIES AND WETLANDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE REGULATORY CONDITIONS RELATED TO SUCH MEASURES. METHODS MAY INCLUDE BUT ARE NOT LIMITED TO, FLOATING SILT BARRIERS, CHECK DAMS, SILT FENCES, SYNTHETIC SOD, AND OTHER MEASURES. MINIMUM CONSTRUCTION FROM THE RESPONSIBILITY NECESSARY TO PROVIDE PROTECTION, E AND TURBIDITY.
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- 3. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE F.D.O.T. MANUAL FOR EROSION CONTROL (LATEST ED.)
4. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND REPAIRS OR MAINTENANCE SHALL BE COMPLETED BEFORE WORK STOPS FOR THE DAY.
5. TEMPORARY SEDIMENT TRAPS ARE ACCEPTABLE IF THE INLET IS PROPERLY SCREENED WITH SYNTHETIC BARS AND LOW ENOUGH IN ELEVATION FOR RUNOFF TO ENTER THE STRUCTURE.
6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONTINUOUSLY MAINTAINED BY THE CONTRACTOR DURING THE CONSTRUCTION PHASE OF THIS PROJECT UNTIL ACCEPTED BY THE OWNER.
7. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES COULD RESULT IN CONSTRUCTION BEING SUSPENDED BY THE ENGINEER.
8. SEDIMENT BARRIERS SHALL MEET D.O.T. STANDARDS.
9. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION BY THE ENGINEER OF RECORD.
10. ALL SEEDING FOR TEMPORARY STABILIZATION SHALL BE DONE AS EACH AREA IS MADE READY. CONSTRUCTION SEQUENCE TO MINIMIZE EROSION AND SEDIMENTATION AT STORM-WATER DISCHARGE POINTS.
A. CONTRACTOR TO INSTALL FOOT TYPE II SILT FENCES AT SITE DISCHARGE POINTS.
B. CONTRACTOR TO CONSTRUCT FLOOD AND CONNECTING DRAINAGE AND OUTFALL PIPES AT INITIAL STAGES OF CONSTRUCTION.
C. ALL GRADING OPERATIONS SHALL BE PERFORMED WITHOUT DELAY, PAUSE OR SUSPENSION (CONTINUOUS OPERATIONS) UNTIL PROPOSED GRADES ARE MET. ALL EXPOSED EARTH SHALL BE SEEDED AND MULCHED OR SOODED SOON AFTER AFTER GRADING IS COMPLETED.
11. EROSION CONTROL PLAN - ANY MODIFICATIONS TO THIS PLAN MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REPRESENTING THE CONTRACTOR. THE MODIFICATIONS MUST BE APPROVED BY THE ENGINEER OF RECORD AND IF SIGNIFICANT, THE PERMITTING AGENCY. NO CONTRACT DELAYS WILL BE ALLOWED FOR SUCH MODIFICATIONS OR APPROVALS.
12. OUTFALL PROTECTION - PROJECT PIPE OR DITCH DISCHARGES INTO OFF-SITE OUTFALLS SHALL BE PROTECTED DAILY FROM POSSIBLE SEDIMENT BUILDUP OR EROSION. OUTFALLS SHALL BE PROTECTED THROUGH USE OF ENVIRONMENTAL CONTROL FEATURES AS NECESSARY TO CONTAIN ANY SEDIMENT ENTERING THE IMMEDIATE AREA OF PROTECTION. ANY SEDIMENT BUILDUP OR TRANSPORT OFF-SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE. THE CONTRACTOR SHALL USE APPROPRIATE MEASURES AS DIRECTED BY THE PROJECT ENGINEER FOR OUTFALL PROTECTION.
13. SLOPE PROTECTION - ANY DISTURBED OR REWORKED SLOPES 3:1 OR GREATER IN SLOPE SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF TEMPORARY SOODING UNTIL PERMANENTLY STABILIZED. SUCH SLOPES SHALL NOT BE LEFT UNPROTECTED MORE THAN 24 HOURS OR PRIOR TO ANTICIPATED RAINFALL EVENTS.
14. SYNTHETIC HAY BALES - SHALL BE PLACED AT THE BASE OF ANY SLOPE WHERE A RAINFALL EVENT COULD ERODE A SLOPE AND TRANSPORT SEDIMENTS OFF SITE. BALES SHALL BE INSTALLED IN ACCORDANCE WITH FOOT STANDARDS. EROSION DEPOSITS REACH THE NEAR THE TOP OF EXISTING BALES THEN SEDIMENTS SHOULD BE REMOVED, ANY DAMAGED OR INEFFECTIVE BALES ARE TO BE REPLACED. THE EXACT LOCATION OF BALE INSTALLATIONS SHALL BE AS DIRECTED BY THE CONSTRUCTION SUPERINTENDENT.
15. A. BACK OF SIDEWALK OR MEDIAN INLETS - THESE SILTS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL PROJECT IS COMPLETE. ELEVATION OF GROUND AROUND THE OF THE BACK INLET IMMEDIATELY ADJACENT TO THE DOOR OF THE INLET, ALL EXPOSED SLOPED MATERIAL ADJACENT TO THE INLET SHALL BE COVERED WITH EROSION CONTROL SOD TO MINIMIZE SEDIMENT ENTERING THE NEW INLET.
B. CURB INTAKES - THESE INLETS SHALL BE PROTECTED FROM SEDIMENT INTAKE UNTIL THE PROJECT IS COMPLETE. A SILT FENCE (TYPE II) SHALL BE PLACED AROUND THE OF THE BACK INLET IMMEDIATELY ADJACENT TO THE DOOR OF THE INLET. ALL EXPOSED SLOPED MATERIAL ADJACENT TO THE INLET SHALL BE COVERED WITH EROSION CONTROL SOD TO MINIMIZE SEDIMENT ENTERING THE NEW INLET.
16. STOCKPILED MATERIALS SHALL NOT BE LEFT IN EROSION PRONE AREAS TO NEXT TO A KNOWN WETLAND.
17. DAILY INSPECTION OF ALL EROSION CONTROL MEASURES AND CONDITIONS OF ADJACENT PROPERTIES SHALL BE PERFORMED BY THE CONTRACTOR. ANY AREAS OF CONCERN SHALL BE NOTED AND CORRECTED. ANY SIGNIFICANT EROSION AREAS ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD.

SEC. H SAFETY:

- 1. DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT, ALL SAFETY REGULATIONS ARE TO BE ENFORCED BY THE CONTRACTOR. THE CONTRACTOR OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE CONTROL AND SAFETY OF THE TRAVELING PUBLIC AND THE SAFETY OF HIS PERSONNEL. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY CURRENT OSHA STANDARDS.
2. THE MINIMUM STANDARDS AS SET FORTH IN THE CURRENT EDITION OF THE STATE OF FLORIDA MANUAL ON TRAFFIC CONTROL AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS.
3. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY AND ENFORCE ALL APPLICABLE SAFETY REGULATIONS. THE ABOVE INFORMATION HAS BEEN PROVIDED FOR THE CONTRACTOR'S INFORMATION ONLY AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT AND/OR ENFORCE SAFETY REGULATIONS.

SEC. I DEMOLITION:

- 1. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND LICENSES FOR PERFORMING THE DEMOLITION WORK AND SHALL FURNISH A COPY OF SAME TO THE ENGINEER PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE PERMITS.
2. THE CONTRACTOR SHALL MODIFY ALL UTILITY COMPANIES OR LOCAL AUTHORITIES FURNISHING GAS, WATER, ELECTRICAL, TELEPHONE, OR UTILITY/SEWER SERVICE, SO THEY CAN REMOVE, RELOCATE, DISCONNECT, CAP OR PLUG THEIR EQUIPMENT IN ORDER TO FACILITATE DEMOLITION.
3. THE CONTRACTOR SHALL PROTECT ALL UTILITIES AND OTHER IMPROVEMENTS SHOWN ON THESE PLANS AND ALL OTHER UTILITIES AND OTHER IMPROVEMENT NOT SHOWN. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REPAIRS OF UTILITIES AND OTHER IMPROVEMENTS DAMAGED DURING CONSTRUCTION AND SHALL MAINTAIN SUFFICIENT PROTECTION TO ALL UTILITIES REQUIRED TO PROTECT THEM FROM DAMAGE AND TO PROTECT THE PUBLIC FROM DAMAGE.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL TREES, STRUCTURES, AND UTILITIES NOT MARKED FOR REMOVAL OR DEMOLITION AND SHALL PROMPTLY REPAIR ANY DAMAGE AS DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER.
5. THE CONTRACTOR TO REMOVE ALL BUILDING STRUCTURES MARKED FOR DEMOLITION WHICH INCLUDES ALL FOOTERS ASSOCIATED WITH THE STRUCTURE, SEPTIC SYSTEMS AND WATER LINES TO THE METER LOCATION, LATERALS TO THE RIGHT-OF-WAY LINE (CAP PRIOR TO BACKFILLING THE TRENCH), AND ALL UNDERGROUND ELECTRICAL WIRING NOT ASSOCIATED WITH THE APPROPRIATE POWER COMPANY.
6. THE CONTRACTOR SHALL REMOVE ALL PAVING MARKED FOR DEMOLITION WHICH INCLUDES ASPHALT, CONCRETE, BASE, GRAVEL, BRICK AND SIDEWALK.
7. THE CONTRACTOR SHALL REMOVE ALL TREES MARKED FOR REMOVAL WHICH INCLUDES THE ROOTS ASSOCIATED WITH THE TREE. THE TREES NOT MARKED FOR REMOVAL SHALL BE PROTECTED IN ACCORDANCE WITH THE TREE PROTECTION DETAILS.
8. THE CONTRACTOR IS TO REMOVE ALL UNSALVAGEABLE MATERIALS AND YARD WASTE FROM THE SITE IMMEDIATELY AND DISPOSE OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
9. THE CONTRACTOR SHALL SHW-CUT A SMOOTH STRAIGHT EDGE ON ANY PAVEMENT PROPOSED FOR DEMOLITION PRIOR TO ITS REMOVAL TO ENSURE THAT THE EDGE OF THE INTERFACE BETWEEN OLD AND NEW PAVEMENT IS STRAIGHT, UNIFORM AND EVEN IN ELEVATION.

SEC. F DRY POND & SWALE RETENTION AREAS:

- 1. THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL SYSTEMS FOR CONFORMANCE WITH THE SITE CONSTRUCTION PLANS AND FIELD CHANGES. BANKS AND SLOPES OF RETENTION PONDS SHALL ALSO BE CHECKED AFTER RAINFALL EVENTS FOR EROSION PROBLEMS.
2. THE CONTRACTOR SHALL REPAIR ALL EROSION AND SEDIMENT CONTROL SYSTEMS AS REQUIRED FOR CONTINUED FUNCTION. RE-GRADE IF REQUIRED, TO MAINTAIN DESIGN CONFIGURATION, AND SOD AND SILT FENCES AS REQUIRED TO PREVENT SOIL AND SILT FROM EXITING THE SITE.
3. MOW RETENTION AREAS REGULARLY TO MAINTAIN WEED OVERGROWTH AND PROMOTE TURT GROWTH.
4. INSPECT RETENTION AREAS PERIODICALLY FOR ACCUMULATION OF DEBRIS AND TRASH. PROPERLY DISPOSE OF ALL DEBRIS AND TRASH IN RETENTION AREAS AND CONVENIENCE SWALES.
5. INSPECT RETENTION AREA BOTTOMS FOR DEPOSITS OF SAND AND/OR SILT AND REMOVE.
PERFORMANCE PERFORMANCE SHALL BE EVALUATED YEARLY FOR EACH DRY RETENTION AREA. THE RETENTION AREAS SHALL PERFORM TO THE DESIGN WATER QUALITY WITHIN 72 HOURS OF THE END OF RAINFALL EVENT. BOTTOM MAINTENANCE SHALL BE PERFORMED AS REQUIRED BY EXERCISING THE FOLLOWING PROCEDURE:
A. REMOVE 4 TO 6 INCHES OF RETENTION AREA BOTTOM MATERIAL AND SCARIFY.
B. REPLACE EXCAVATED MATERIAL WITH CLEAN SAND MATERIAL TO DESIGN GRADE AND SEED AND MULCH OR COVER WITH NON-MUCK GROWN SOD.

SEC. G WORKS IN PUBLIC RIGHT-OF-WAY:

- 1. ALL LOCAL, STATE AND FEDERAL ORDINANCES, POLICES AND/OR OTHER REGULATIONS REGARDING TRAFFIC AND PEDESTRIAN TEMPORARY BARRICADES, LIGHTS, SIGNALS, SIGNAGE ETC., SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SAFE AND CONVENIENT MEANS OF ACCESS AND EGRESS TO ALL PARTS OF THE PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR.
2. PRIOR TO COMMENCING WORK THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN ALL BARRICADES, WARNING SIGNS, AND MARKINGS FOR HAZARDS, AND THE CONTROL OF TRAFFIC IN REASONABLE CONFORMANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS OR AS DIRECTED BY F.D.O.T. AND LOCAL TRAFFIC ENGINEERS SUCH AS TO EFFECTIVELY PREVENT ACCIDENTS IN ALL PLACES WHERE THE WORK CAUSES OBSTRUCTIONS TO THE NORMAL TRAFFIC OR CONSTITUTES IN ANY WAY A HAZARD TO THE PUBLIC.
3. THE CONTRACTOR SHALL CONTROL HIS OPERATIONS AND THOSE OF HIS SUBCONTRACTORS AND ALL SUPPLIERS TO ASSURE THE LEAST INCONVENIENCE TO THE TRAVELING PUBLIC. THE CONTRACTOR SHALL MAINTAIN FREE AND UNOBSTRUCTED MOVEMENT OF VEHICULAR TRAFFIC AND SHALL LIMIT HIS OPERATIONS FOR THE SAFETY AND CONVENIENCE OF THE TRAVELING PUBLIC. UNDER ALL CIRCUMSTANCES, SAFETY SHALL BE THE MOST IMPORTANT CONSIDERATION.
4. THE CONTRACTOR SHALL COMPLY WITH ALL LEGAL ROAD RESTRICTIONS IN THE HAULING OF MATERIALS IN PUBLIC ROADS BEYOND THE LIMITS OF THE WORK. A SPECIAL PERMIT WILL NOT RELIEVE THE CONTRACTOR OF LIABILITY FOR THE DAMAGE WHICH MAY RESULT FROM THE MOVING OF MATERIAL AND EQUIPMENT.
5. ALL STRIPING SHALL BE THERMOPLASTIC AND SHALL MEET THE REQUIREMENTS OF FOOT SPECIFICATIONS AND SUPPLEMENTS.
6. REFLECTIVE PAVEMENT MARKERS SHALL MEET THE REQUIREMENTS OF FOOT SPECIFICATIONS AND SUPPLEMENTS.
7. ALL SIGNS WITHIN FOOT RIGHT-OF-WAY SHALL MEET THE REQUIREMENTS OF FOOT SPECIFICATIONS AND SUPPLEMENTS.
8. REFLECTIVE PAVEMENT MARKERS SHALL BE PLACED IN ACCORDANCE WITH CURRENT FOOT STANDARDS.

SEC. I UNDERGROUND UTILITIES:

- 1. THE ENGINEER RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO UNCOVER, RE-TEST AND/OR PERFORM ANY ACTION NECESSARY TO ENSURE THAT THE IMPROVEMENTS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL COORDINATE ALL BACKFILL OPERATIONS WITH THE PROJECT SOILS ENGINEER AND SUBMIT TEST REPORTS TO ENGINEER PRIOR TO BEGINNING WORK ON THE NEXT ITEM OF WORK. I.E. SUBGRADE PRIOR TO CURB.
3. THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (90-96, LAWS OF FLORIDA). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE IN ADDITION TO THE CONTRACT PRICE.
4. FLORIDA LAW (533.851) REQUIRES THAT PERSONS MAKING EXCAVATIONS IN PUBLIC OR PRIVATE STREETS, ALLEYS, RIGHT-OF-WAY OR UTILITY EASEMENTS WITH HAND TOOLS OR POWER EQUIPMENT MUST FIRST OBTAIN INFORMATION ON THE LOCATION OF UNDERGROUND UTILITIES. PRIOR TO REMOVAL, THE CONTRACTOR SHALL NOTIFY THE GAS UTILITY A MINIMUM OF 48 HOUR AND A MAXIMUM OF 5 DAYS PRIOR TO EXCAVATION.
5. ALL WORK SHALL BE OPEN TO AND SUBJECT TO INSPECTION.
6. THE CONTRACTOR SHALL COORDINATE THE INSTALLATIONS OF UTILITY CONDUITS (EXCEPT UNDER PAVED AREAS WITH EACH UTILITY COMPANY PRIOR TO BASE INSTALLATION.
7. ALL DEMATERING COSTS ASSOCIATED WITH THE INSTALLATION AND CONSTRUCTION OF THE UNDERGROUND UTILITIES; STORMWATER PIPES AND MANHOLES; SANITARY SEWER MAINS, FORCE MAINS, MANHOLES, AND LIFT STATIONS; AND STORMWATER MANAGEMENT SYSTEMS SHALL BE INCLUDED AS PART OF THE CONSTRUCTION BID COSTS.

SEC. J SANITARY SEWER SYSTEM:

- 1. ALL SEWER COLLECTION SYSTEM RELATED ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL STANDARDS WITH THE CONTRACTOR'S SAFETY AND ENVIRONMENTAL PROTECTION, AND HEALTH DEPT. REQUIREMENTS.
2. IF UNSUITABLE MATERIAL IN THE VICINITY OF SANITARY SEWER LINES ARE FOUND DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHO WILL DIRECT THE CONTRACTOR TO REMOVE THE UNSUITABLE MATERIAL AND PREPARE THE TRENCH AND INSTALL THE SEWER LINES IN ACCORDANCE WITH ASTM D-2321.
3. ALL SANITARY SEWER MAINS AND LATERALS WITHIN THE R.O.W. SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.
4. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES TO THE TRAVELING PUBLIC, THE RECORD LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY OWNER'S ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.
5. ALL SANITARY SEWER COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.
6. THE CONTRACTOR SHALL PROVIDE CERTIFIED UTILITY RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW FINAL GRADES AND LOCATIONS ON ALL SANITARY SEWER MAINS AND SERVICES. THE CONTRACTOR SHALL PROVIDE ONE (1) COPY OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER.
7. THE CONTRACTOR SHALL PERFORM AN INTRUSION/EXFILTRATION TEST ON ALL GRANULAR SEWER IN ACCORDANCE WITH THE REGULATION AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE TESTING COMPANY, COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.
8. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH THE REGULATORY AGENCY HAVING JURISDICTION. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE REGULATORY AGENCY FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY.

SEC. K WATER DISTRIBUTION:

- 1. ALL WATER DISTRIBUTION SYSTEM RELATED ITEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL UTILITIES PROVIDER REQUIREMENTS, FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION, AND HEALTH DEPT. REQUIREMENTS.
2. ALL MATERIALS FURNISHED BY THE CONTRACTOR UNDER THIS SECTION SHALL BE NEW, HIGH GRADE AND FREE FROM DEFECTS.
3. PRESSURE AND LEAKAGE TESTS FOR NEWLY-INSTALLED WATER DISTRIBUTION SYSTEM PRESSURE PIPES AND APPURTENANCES SHALL BE PERFORMED IN CONFORMANCE WITH F.D.E.P. AND LOCAL UTILITIES PROVIDER.
4. ALL WATER LINES SHALL BE INSTALLED IN A DRY TRENCH.
5. PRESSURE AND LEAKAGE TESTS FOR NEWLY-INSTALLED WATER DISTRIBUTION SYSTEM PRESSURE PIPES AND APPURTENANCES SHALL BE PERFORMED IN CONFORMANCE WITH CITY, COUNTY AND FOOT STANDARDS. PORTABLE WATER TEST PRESSURES SHALL BE 150 PSI; DURATION OF TESTS IS TO BE 2 HOURS. TESTS TO BE CONDUCTED PURSUANT TO AWWA C605 DISINFECT IRON PIPE AND 90% OF THAT ALLOWABLE LEAKAGE FOR PVC PIPE.
6. UNFIT POTABLE WATER MAINS IN ACCORDANCE WITH AWWA C651 STANDARD PROCEDURES FOR DISINFECTING WATER MAINS.
7. ALL PVC PIPE MUST BEAR THE NSF LOGO FOR POTABLE WATER USE.
8. PRIOR TO THE CONNECTION TO ANY EXISTING MAIN, THE PROPOSED WATER MAIN SHALL BE DISINFECTED, HAVE ENGINEER APPROVED PRESSURE TESTING AND HAVE DEEP CLEARANCE. REFER TO FDP PERMIT FOR ANY ADDITIONAL REQUIREMENTS.
9. THE WATERMANS SHALL BE INSTALLED AS NOTED ON THE PLANS. WHERE APPLICABLE, A SEPARATION BETWEEN WATERMANS, SEWER, RE-USE OR STORM PIPES SHALL MEET OR EXCEED THE REQUIREMENTS OF F.D.E.P.

LEGEND

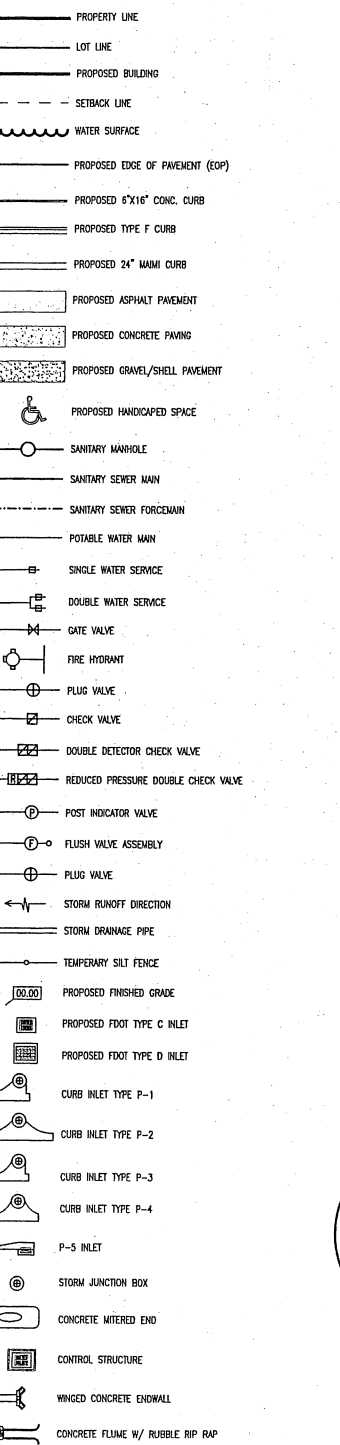
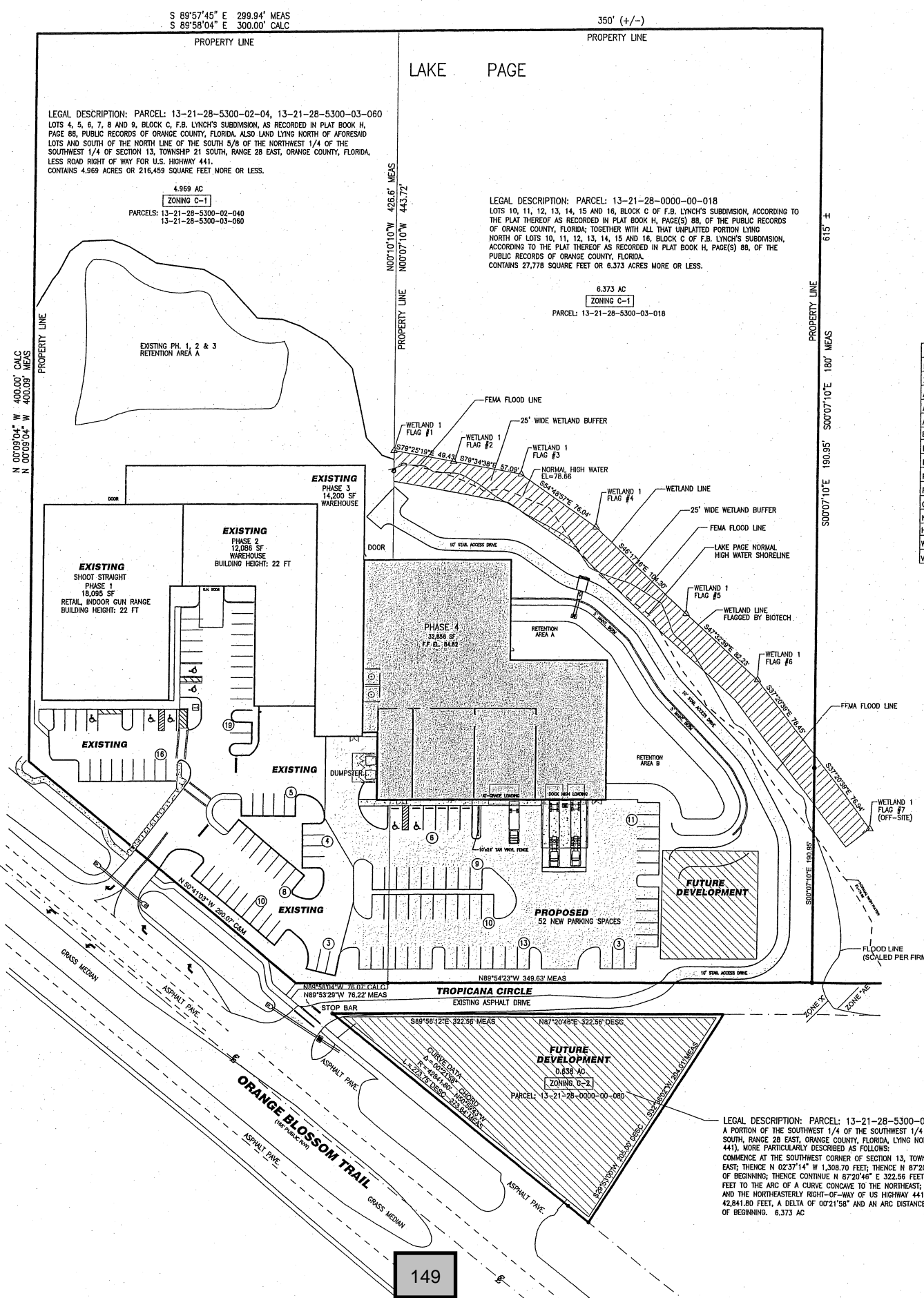


Table with columns: NO. OF SHEETS, SHEET NO., DATE, REVISIONS. Includes project name and sheet number.

AMERICAN CIVIL ENGINEERING CO. logo and contact information for the engineer of record.

GENERAL NOTES, project name 'Shoot Straight Warehouse Addition-Ph. 4', date 'JUL 21 2017', sheet number '2 of 15', and professional engineer seal for Joseph Hernandez.





S 89°57'45" E 299.94' MEAS  
S 89°58'04" E 300.00' CALC

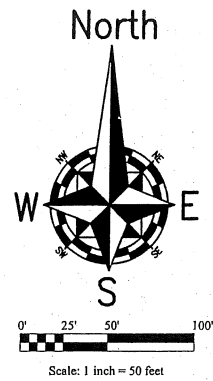
350' (+/-)  
PROPERTY LINE

LEGAL DESCRIPTION: PARCEL: 13-21-28-5300-02-04, 13-21-28-5300-03-060  
LOTS 4, 5, 6, 7, 8 AND 9, BLOCK C, F.B. LYNCH'S SUBDIVISION, AS RECORDED IN PLAT BOOK H,  
PAGE 88, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA. ALSO LAND LYING NORTH OF AFORESAID  
LOTS AND SOUTH OF THE NORTH LINE OF THE SOUTH 5/8 OF THE NORTHWEST 1/4 OF THE  
SOUTHWEST 1/4 OF SECTION 13, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA,  
LESS ROAD RIGHT OF WAY FOR U.S. HIGHWAY 441.  
CONTAINS 4.969 ACRES OR 216,459 SQUARE FEET MORE OR LESS.

LEGAL DESCRIPTION: PARCEL: 13-21-28-0000-00-018  
LOTS 10, 11, 12, 13, 14, 15 AND 16, BLOCK C OF F.B. LYNCH'S SUBDIVISION, ACCORDING TO  
THE PLAT THEREOF AS RECORDED IN PLAT BOOK H, PAGE(S) 88, OF THE PUBLIC RECORDS  
OF ORANGE COUNTY, FLORIDA; TOGETHER WITH ALL THAT UNPLATTED PORTION LYING  
NORTH OF LOTS 10, 11, 12, 13, 14, 15 AND 16, BLOCK C OF F.B. LYNCH'S SUBDIVISION,  
ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK H, PAGE(S) 88, OF THE  
PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.  
CONTAINS 27,778 SQUARE FEET OR 6.373 ACRES MORE OR LESS.

**SITE DATA INFORMATION:**

PARCEL ID NUMBER	SEE SETBACK CHART (THIS SHEET)
FUTURE LAND USE	OVERALL SITE: 44,381 SF PHASE 4 32,856 SF
ZONING	SEE PARKING ANALYSIS (THIS SHEET)
ADJACENT LAND USE	NORTH: LAKE, SOUTH: COMMERCIAL, EAST: LAKE, WEST: HOTEL
ADJACENT ZONING	NORTH: AG, SOUTH: C-2, EAST: AG, WEST: C-1
ACRAGE / SQUARE FOOTAGE	6.373 AC / 277,608 SF
BUILDING HEIGHT	24'
BUILDING SETBACK	SEE SETBACK CHART (THIS SHEET)
BUILDING SQUARE FOOTAGE	OVERALL SITE: 44,381 SF PHASE 4 32,856 SF
PARKING SPACES	SEE PARKING ANALYSIS (THIS SHEET)
FLOOR AREA RATIO	PROPOSED: 77,237 SF/11,342 AC = 0.156 (ENTIRE SITE)
OPEN SPACE	6.723 AC 6.723 / 11.342 = 0.593 REQ. = 0.20
NO. OF EMPLOYEES	34
HOURS OF OPERATION	8:00 AM - 10:00 PM
WAVAR REQUEST:	NONE
VARIANCE REQUEST:	NONE



**PROJECT PARKING ANALYSIS:**

min. required	building area	total	
phase 1 parking (2001)	original store	office & retail	46
phase 2 parking (2012)	1 space per 1,000 sf	warehouse = 12,086 SF	12
	plus 1 sp. per 2 employees	6 employees	3
phase 3 parking (2014)	1 space per 1,000 sf	warehouse = 14,200 SF	14
	plus 1 sp. per 2 employees	6 employees	3
phase 4 parking (2016)	1 space per 1,000 sf	warehouse = 32,700 SF	33
	plus 1 sp. per 2 employees	12 employees	6
	required parking		117
	provided spaces		117

TOTAL NUMBER OF PARKING SPACES : 117 EACH  
MINIMUM NUMBER OF REQUIRED ADA PARKING SPACES : 5 EACH  
TOTAL NUMBER OF PROVIDED ADA ACCESSIBLE PARKING : 5 EACH

**SITE DATA:**

project name:	Shoot Straight Warehouse Addition - Phase 4
existing use:	mobile home park
proposed use:	32,856 sf warehouse with 52 parking spaces
existing FLU:	COMM
proposed FLU:	COMM
existing zoning:	C-1
proposed zoning:	C-1
proposed F.A.R.:	0.75 / 6.373 = 0.12 (PH. 4 SITE)
FEMA:	LAKE PAGE IS WITHIN A FEMA FLOOD ZONE
WETLAND AREA:	3.528 ACRES
UPLAND AREA:	2.845 ACRES
TOTAL AREA:	6.380 ACRES
stormwater:	DESIGN STORM; 25 YEAR / 24 HOUR EVENT

**BUILDING DATA:**

warehouse:	32,856 sf
proposed use:	commercial - retail warehouse
type of construction:	Type II
occupancy classification:	Business Group B
F.B.C., Table 602:	fire separation distance > 30 ft.
hose lay distance:	less than 500 ft. (see sheet 5)
driveway clearance:	building height = 24 ft.

**PROPOSED SITE CONDITIONS**

Improvement	sq. feet	acres	% of property
proposed building footprint	32,856	0.754	26.4
existing building footprint	0	0	0
proposed asphalt	34,770	0.798	28.0
sidewalk area	750	0.017	0.6
total impervious area	68,376	1.570	55.0
total pervious area	55,708	1.279	45.0
total upland area	123,928	2.845	100

**Setback Chart:**

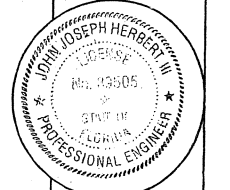
location	required	provided
north - rear	50 ft	50 ft
south - front	50 ft from C.L.	257 ft
east - side	10 ft	62.6 ft
west - side	10 ft	10 ft

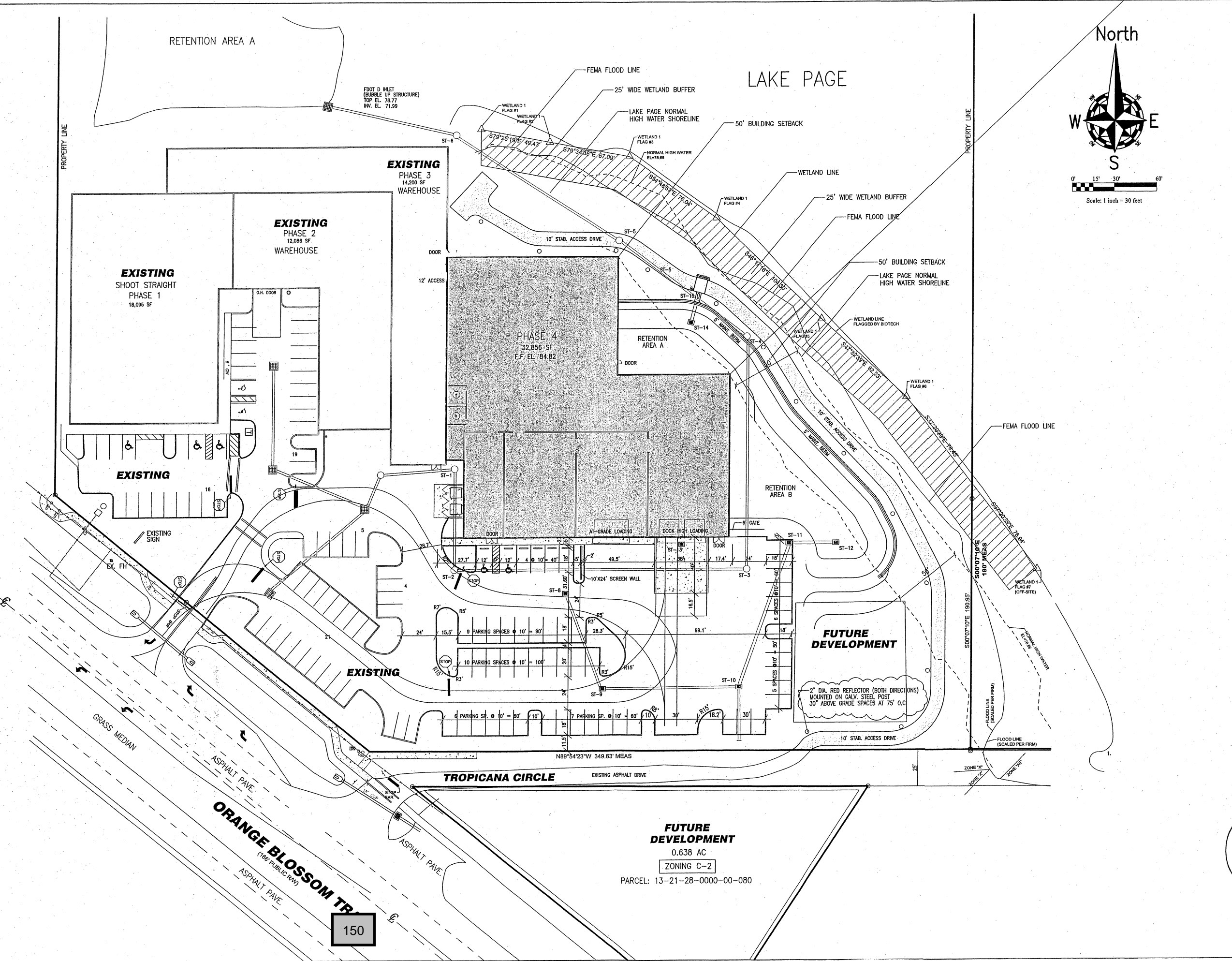
**Bufferyard Chart:**

location	required	provided
north - rear	5 ft	5 ft
south - front	10 ft	10 ft
east - side (non-res.)	10 ft	37 ft
west - side (non-res.)	5 ft	0 ft

**AMERICAN CIVIL ENGINEERING CO.**  
207 N. JAMES RD. SUITE 211, WINTER SPRINGS, FL 32789  
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cert. of authorization number 8723

**Shoot Straight Warehouse Addition-Ph. 4**





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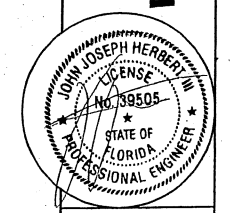
ENGINEER: JOHN HERBERT, P.E.  
 CHECKED BY: TOM SKALON, P.E.  
 TECHNICIAN: JAKE HERBERT

DATE	REVISIONS
07.21.17	CURRENT EDITION
05.24.17	REV. PER APOPKA REVIEW
	REVISED
	PROJECT NO. 12051

**AMERICAN CIVIL ENGINEERING CO.**  
 207 N. MOSS RD., SUITE 211, WINTER SPRINGS, FL 32789  
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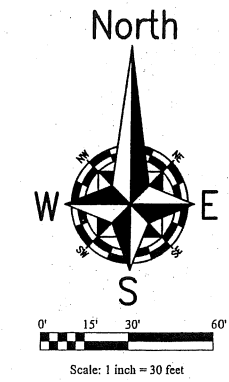
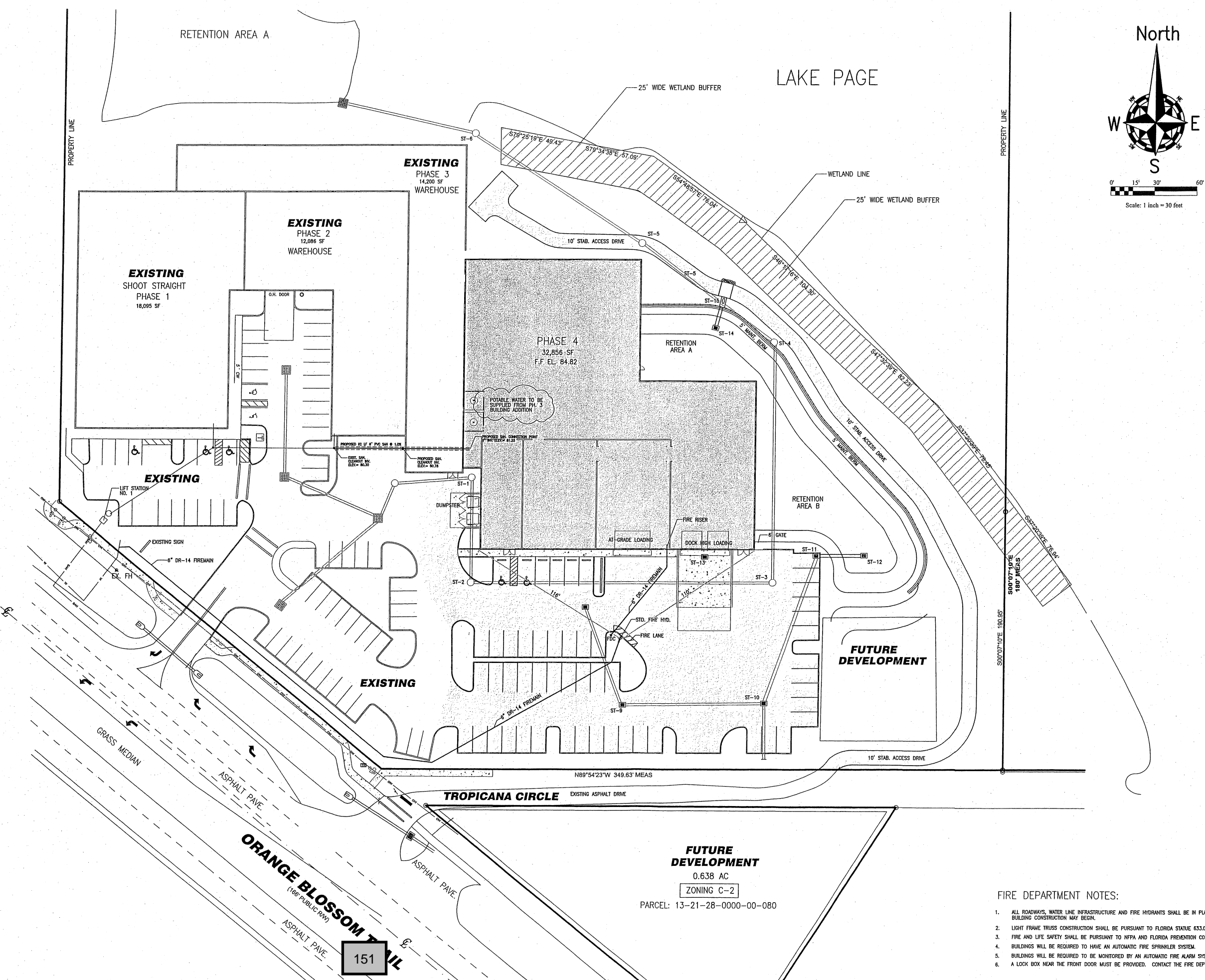
cert. of authorization number 0728

SITE GEOMETRY PLAN  
**Shoot Straight Warehouse Addition-Ph. 4**  
 APOPKA, FLORIDA



JUL 21 2017
GEOMETRY
project no. 12051
sheet number
5 of 15

150



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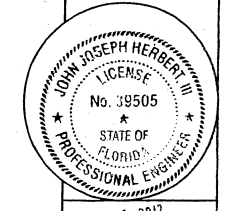
ENGINEER:	JOHN HERBERT, P.E.
CHECKED BY:	TOM SKELTON, P.E.
TECHNICIAN:	JAKE HERBERT
PROJECT NO.:	12051
DATE:	
REVISIONS:	
CURRENT EDITION:	07.21.17
REV. PER A/C/E/C/A REVIEW:	05.25.17

**AMERICAN CIVIL  
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cert. of authorization  
number 8759

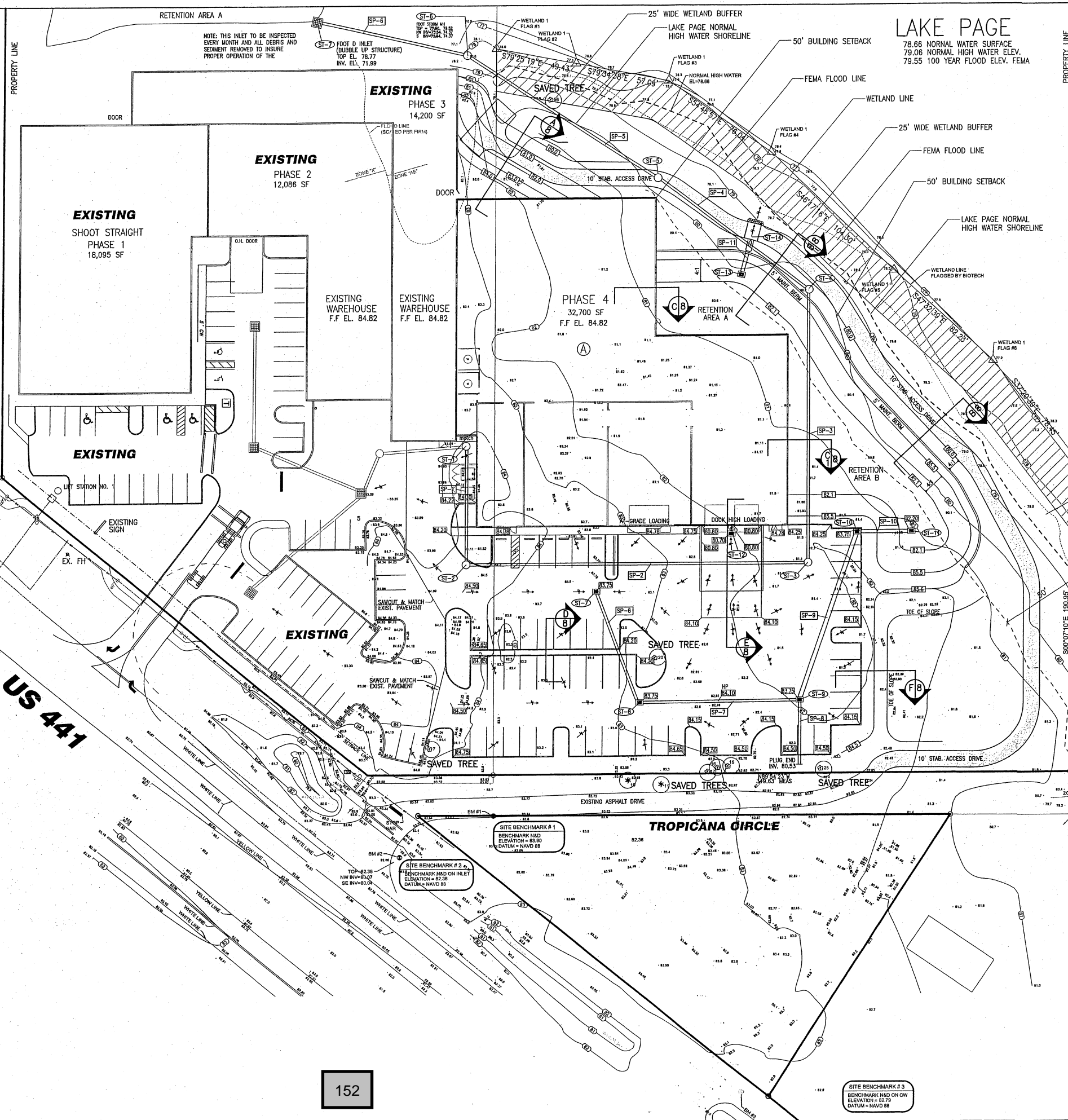
SITE UTILITY PLAN  
**Shoot Straight  
Warehouse Addition-Ph. 4**  
APOPKA, FLORIDA



DATE	07.21.2017
GEOMETRY	
PROJECT NO.	12051
SHEET NUMBER	6 of 15

**FUTURE DEVELOPMENT**  
0.638 AC  
ZONING C-2  
PARCEL: 13-21-28-0000-00-080

- FIRE DEPARTMENT NOTES:**
- ALL ROADWAYS, WATER LINE INFRASTRUCTURE AND FIRE HYDRANTS SHALL BE IN PLACE BEFORE BUILDING CONSTRUCTION MAY BEGIN.
  - LIGHT FRAME TRUSS CONSTRUCTION SHALL BE PURSUANT TO FLORIDA STATUTE 633.027.
  - FIRE AND LIFE SAFETY SHALL BE PURSUANT TO NFPA AND FLORIDA PREVENTION CODE 5TH EDITION.
  - BUILDINGS WILL BE REQUIRED TO HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM.
  - BUILDINGS WILL BE REQUIRED TO BE MONITORED BY AN AUTOMATIC FIRE ALARM SYSTEM.
  - A LOCK BOX NEAR THE FRONT DOOR MUST BE PROVIDED. CONTACT THE FIRE DEPT. FOR FORM.

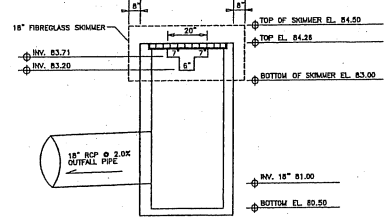
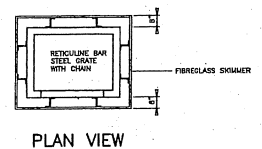


**STORM STRUCTURES INFORMATION**

ST-1	ST-2	ST-3	ST-4
FDOT STORM MH GRATE EL.: 84.60 INV (N): 75.86 INV (SW): 78.31	FDOT STORM MH GRATE EL.: 84.65 INV (N): 77.95 INV (E): 77.95	FDOT STORM MH GRATE EL.: 84.00 INV (W): 78.82 INV (NW): 78.14	FDOT STORM MH GRATE EL.: 82.10 INV (S): 78.14 INV (SE): 78.14
ST-5	ST-6	ST-7	ST-8
FDOT STORM MH GRATE EL.: 79.25 INV (E): 75.63 INV (W): 75.63	FDOT STORM MH GRATE EL.: 79.52 NEW INV: 74.94	TYPE C INLET GRATE EL.: 83.75 INV (SE): 80.39	TYPE C INLET GRATE EL.: 83.75 INV (SE): 80.02
ST-9	ST-10	ST-11	ST-12
TYPE C INLET GRATE EL.: 83.75 INV (NE): 78.50 INV (E): 79.54	TYPE C INLET GRATE EL.: 83.75 INV (W): 78.00 INV (NE): 79.00	TYPE D INLET GRATE EL.: 83.75 INV (W): 78.50 INV (SW): 78.60	TYPE C INLET (PUMP SUMP) GRATE EL.: 80.78 INV (W): 77.59
ST-13	ST-14		
TYPE C INLET GRATE EL.: 84.22 SUMP PUMP SEE DETAIL BELOW	FDOT M.E.S. (4:1) INV EL.: 80.00 W/ CONC. SPLASH PAD		

**STORM PIPE INFORMATION**

SP-1	72 LF 18" RCP @ 0.87%
SP-2	206 LF 18" RCP @ 0.50%
SP-3	155 LF 18" HDPE @ 0.50%
SP-4	102 LF 18" HDPE @ 0.50%
SP-5	138 LF 18" HDPE @ 0.50%
SP-6	73 LF 18" HDPE @ 0.25%
SP-7	95 LF 15" RCP @ 0.50%
SP-8	40 LF 18" RCP @ 0.50%
SP-9	108 LF 24" RCP @ 0.50%
SP-10	33 LF 24" RCP @ 1.00%
SP-11	20 LF 18" RCP @ 5.00%



**CONTROL STRUCTURE DETAIL ST-13**  
F.D.O.T. MODIFIED TYPE 'D' INLET

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ENGINEER: JOHN HERBERT, P.E.  
CHECKED BY: TOM SULLIVAN, P.E.  
DATE: 04.24.17  
REV. PER APOPKA REVIEW: 10/24/16  
DATE: 07.21.17  
REVISED: 07.21.17

**AMERICAN CIVIL ENGINEERING CO.**  
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TEL (407) 327-7700; FAX (407) 327-0827  
cert. of authorization number 8789

PAVING / GRADING & DRAINAGE PLAN  
**Shoot Straight Warehouse Addition-Ph. 4**  
APOPKA, FLORIDA

**JOHN JOSEPH HERBERT, P.E.**  
LICENSE No. 39505  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

JUL 21 2017  
PGD PLAN  
project no. 12051  
sheet number  
7 of 15



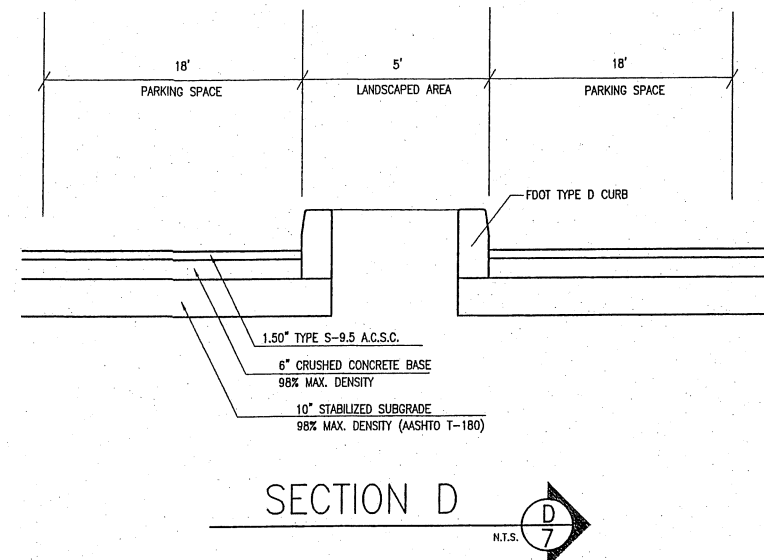
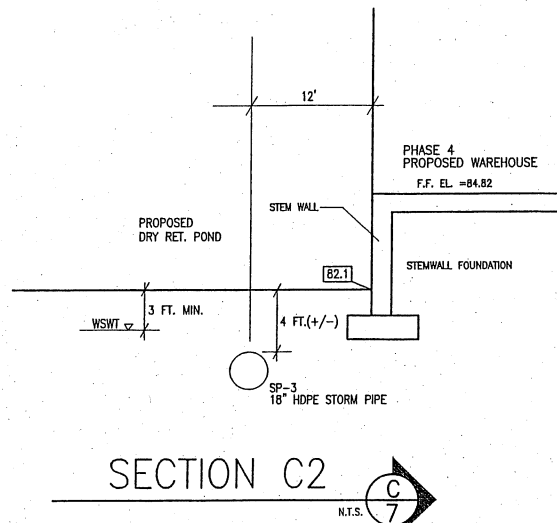
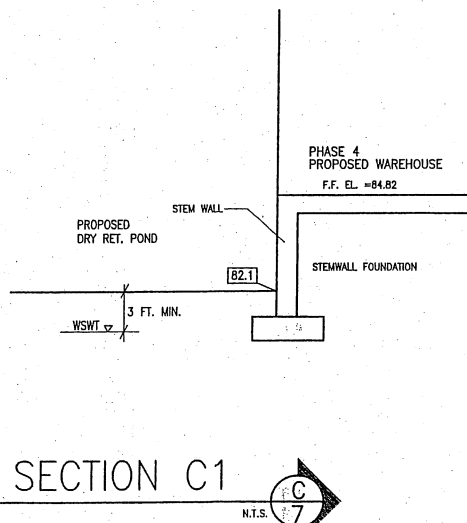
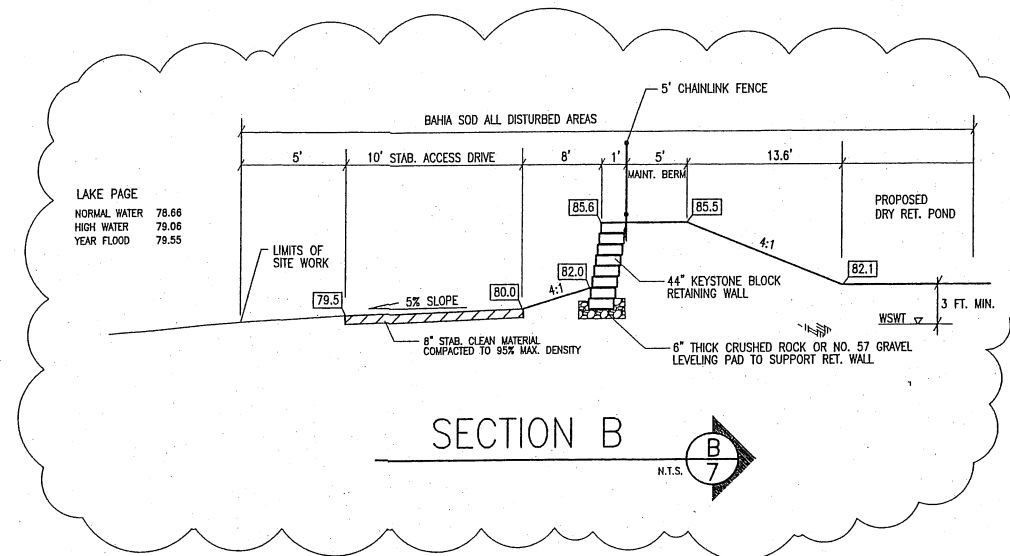
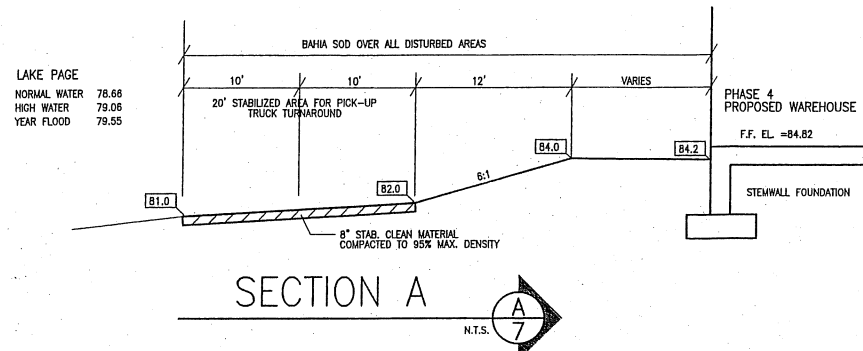
**PAVING SPECIFICATIONS - ASPHALT SURFACE/CONC. FINES BASE:**

- SPECIFICATIONS FOR THE PARKING AREA AND DRIVES ARE AS FOLLOWS:  
 SUB-BASE REQUIREMENTS: FOR CRUSHED CONCRETE FINES BASE  
 A). 10" STABILIZED SUBGRADE TO HAVE A MIN. FRI=50 AND BE COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D 1557) VALUE.  
 BASE REQUIREMENTS:  
 A). 6" PLACED RECYCLED CRUSHED CONCRETE FINES COMPACTED TO A MINIMUM DENSITY OF 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY  
 SURFACE COURSE:  
 A). 1.50" FOOT ASPHALT CONCRETE TYPE 9.5, COMPACTED TO A MIN. OF 95% OF THE MARSHALL DESIGN DENSITY. AFTER PLACEMENT AND FIELD COMPACTION, THE WEARING SURFACE SHOULD BE CORED TO EVALUATE MATERIAL THICKNESS AND TO PERFORM LABORATORY DENSITIES. CORES SHOULD BE TAKEN AT A FREQUENCY OF ONE (1) CORE PER 10,000 SF OF PLACED PAVEMENT.

**PAVING SPECIFICATIONS - CONCRETE (ALTERNATE PAVEMENT)**

- SPECIFICATIONS FOR THE PARKING AREA AND DRIVES ARE AS FOLLOWS:  
 SUB-BASE REQUIREMENTS FOR CONCRETE PAVEMENT  
 A). COMPACT TO 95% OF THE MODIFIED PROCTOR MAX. DENSITY ACCORDING TO ASTM D-1557 TO A DEPTH OF 12" BELOW THE SLAB. REPAIR ALL RUTS  
 BASE REQUIREMENTS: (NONE)  
 PAVEMENT:  
 5.00" OF 4000 PSI CONCRETE WITH 6-8X10-10 WWF (AUTOMOTIVE AREAS)  
 (LIGHT BROOM FINISH & SAW CUT 3/4" CONTROL JOINTS AT 10' GRIDS)  
 PORTLAND CEMENT TYPE I

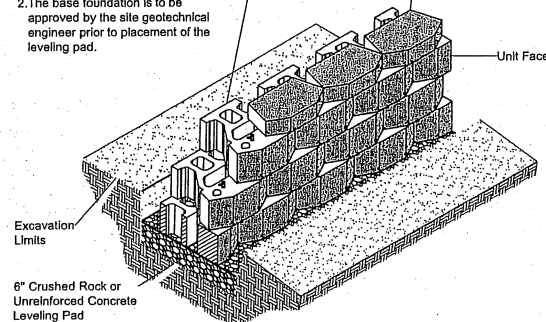
NOTE: ALL MATERIALS AND CONSTRUCTION METHODS TO MEET CURRENT FDOT STANDARDS AND SPECIFICATIONS.



**Base Leveling Pad Notes:**

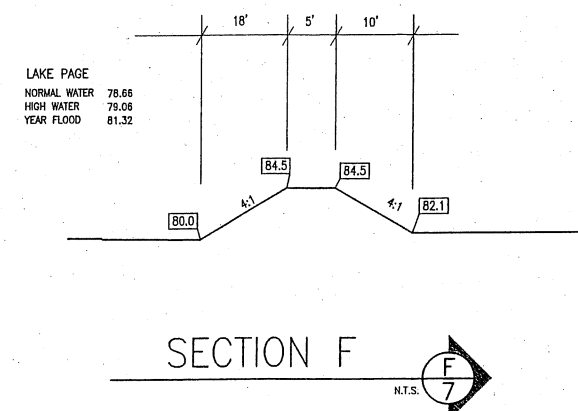
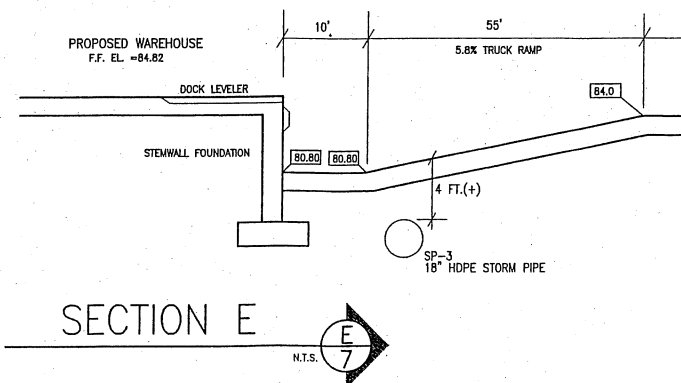
- The leveling pad is to be constructed of crushed stone or 2,000 psf unreinforced concrete
- The base foundation is to be approved by the site geotechnical engineer prior to placement of the leveling pad.

Standard Unit	Cap Unit
*Width: 18"	*Width: 18"
*Depth: 18"	*Depth: 10 1/2"
*Height: 8"	*Height: 4"
*Weight: 102 lbs	*Weight: 45 lbs



Standard Unit/Base Pad Isometric Section View

**KEYSTONE BLOCK RET. WALL**



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ENGINEER: JOHN HERBERT, P.E.  
 CHECKED BY: TOM SHELTON, P.E.  
 DESIGNER: JOHN HERBERT, P.E.

07.21.17 REV. PER APOPKA REVIEW  
 05.25.17 REV. PER APOPKA REVIEW

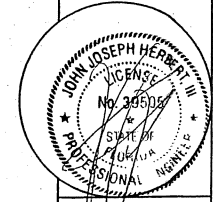
DATE REVISIONS

PROJECT NO. 12034

**AMERICAN CIVIL ENGINEERING CO.**  
 807 N. MISS. RD., SUITE 211, MINOR SPRING, FLA 32008  
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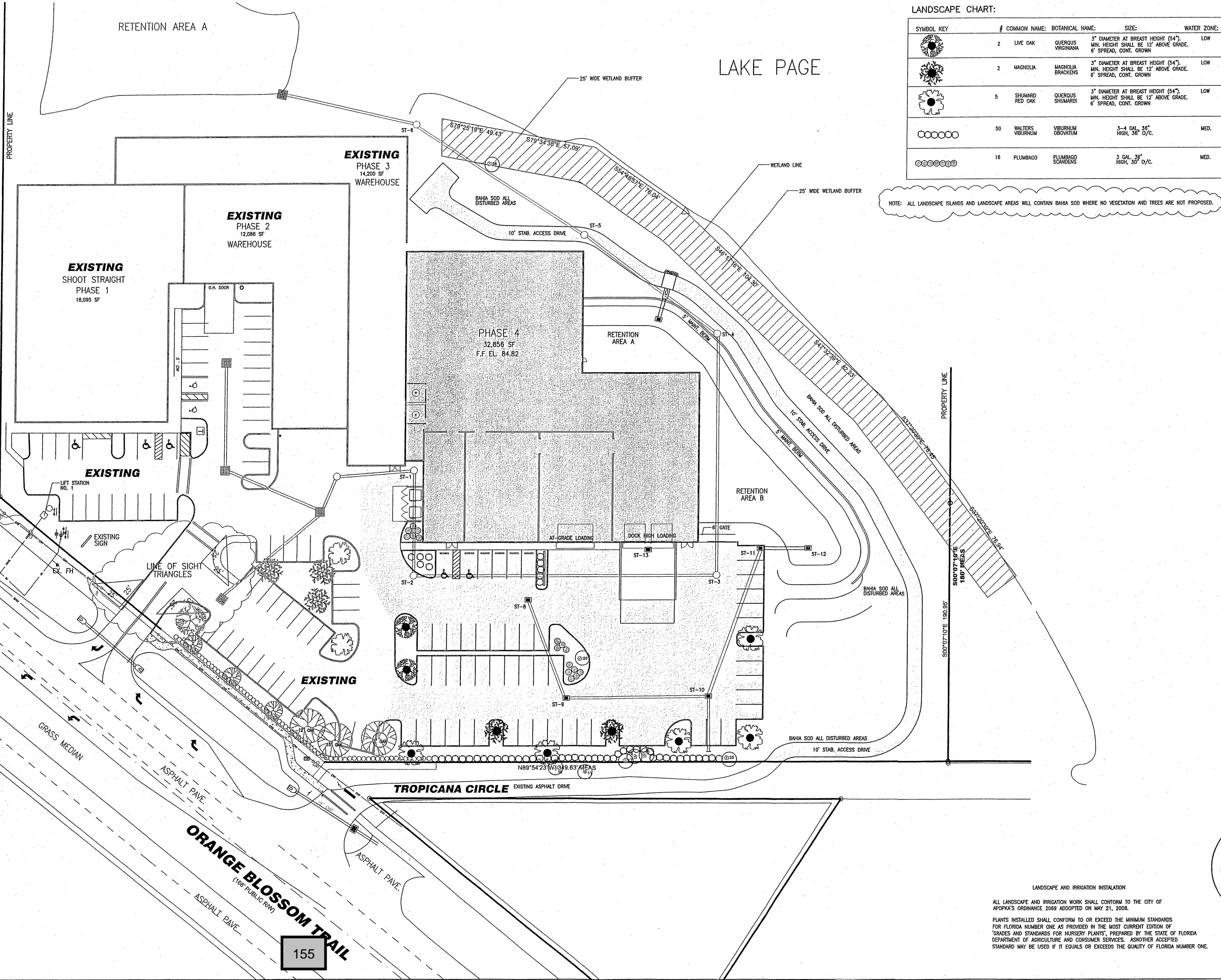
cert. of authorization number 8729

TYPICAL SECTIONS & DETAILS  
**Shoot Straight Warehouse Addition-Ph. 4**  
 APOPKA, FLORIDA



DATE: JUN 21 2017  
 SECTION'S DETAILS  
 project no. 12034  
 sheet number 8 of 15





LANDSCAPE CHART:

SYMBOL KEY	#	COMMON NAME	BOTANICAL NAME	SIZE	WATER ZONE
	2	LIVE OAK	QUERUS VIRGINIANA	3" DIAMETER AT BREAST HEIGHT (54"). MIN. HEIGHT SHALL BE 12' ABOVE GRADE. 6' SPREAD, CONT. GROWN	LOW
	2	MAGNOLIA	MAGNOLIA BRACKENS	3" DIAMETER AT BREAST HEIGHT (54"). MIN. HEIGHT SHALL BE 12' ABOVE GRADE. 6' SPREAD, CONT. GROWN	LOW
	5	SHUMARD RED OAK	QUERUS SHUMARDI	3" DIAMETER AT BREAST HEIGHT (54"). MIN. HEIGHT SHALL BE 12' ABOVE GRADE. 6' SPREAD, CONT. GROWN	LOW
	50	WALTERS VIBURNUM	VIBURNUM OBOVATUM	3-4 CAL. 3/8" HIGH, 3/8" O/C.	MED.
	16	PLUMBAGO	PLUMBAGO SCANDENS	3 CAL. 3/8" HIGH, 3/8" O/C.	MED.

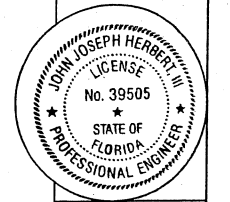
NOTE: ALL LANDSCAPE ISLANDS AND LANDSCAPE AREAS WILL CONTAIN BAHIA SOD WHERE NO VEGETATION AND TREES ARE NOT PROPOSED.

REVISIONS

NO.	DATE	DESCRIPTION
1	07.21.17	CURRENT EDITION
2	05.25.17	REV. PER APOPKA REVIEW
3	10/24/16	REV. PER APOPKA REVIEW

AMERICAN CIVIL ENGINEERING CO.  
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 APOPKA, FLORIDA

LANDSCAPE PLAN  
**Shoot Straight Warehouse Addition-2017**  
 APOPKA, FLORIDA



LANDSCAPE AND IRRIGATION INSTALLATION  
 ALL LANDSCAPE AND IRRIGATION WORK SHALL CONFORM TO THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED ON MAY 21, 2008.  
 PLANTS INSTALLED SHALL CONFORM TO OR EXCEED THE MINIMUM STANDARDS FOR FLORIDA NUMBER ONE AS PROVIDED IN THE MOST CURRENT EDITION OF 'GRADES AND STANDARDS FOR NURSERY PLANTS', PREPARED BY THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ANOTHER ACCEPTED STANDARD MAY BE USED IF IT EQUALS OR EXCEEDS THE QUALITY OF FLORIDA NUMBER ONE.

**PART 1 -- GENERAL**

**1.01 WORK DESCRIPTION**

A. THE WORK IN THIS SECTION CONSISTS OF FURNISHING, PLANTING, WATERING, FERTILIZING, MAINTAINING AND ALL PLANTS AND LAWN AREA OF SPECIES, SIZE AND QUANTITY AS INDICATED ON THE LANDSCAPE ARCHITECTURE DRAWINGS OR AS DIRECTED BY THE ENGINEER OF RECORD.

**1.02 DELIVERY, STORAGE AND HANDLING**

A. PLANT TRANSPORTATION, STORAGE AND HANDLING SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS. STORAGE OF ANY MATERIAL ON SITE SHALL BE COORDINATED WITH THE OWNER.

**1.03 GUARANTEE**

A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTING WORK FOR A PERIOD OF 12 MONTHS AND ALL SOD FOR 6 MONTHS AFTER THE DATE OF PROVISIONAL ACCEPTANCE. DURING THIS PERIOD THE LANDSCAPE CONTRACTOR SHALL CONTINUE THE OBSERVATION OF PLANTS AND GUARANTEED WORK. THE CONTRACTOR SHALL SUBMIT MONTHLY OBSERVATION REPORTS TO THE OWNER WITH A COPY TO THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GUARANTEE PERIOD. THE PURPOSE OF THESE REPORTS IS TO STATE ANY MAINTENANCE DEFICIENCIES OBSERVED. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO REPORT THESE TO PROTECT HIS GUARANTEE. FAILURE TO SUBMIT REPORTS ELIMINATES ANY CLAIMS THAT THE GUARANTEE IS NOT VALID DUE TO IMPROPER MAINTENANCE BY THE OWNER.

B. REPLACEMENT OF DEFLECTED PLANTS: ANY DEAD PLANTS, PLANTS SHOWING INDICATIONS OF LACK OF HEALTHY VIGOR, OR PLANTS WHICH DO NOT EXHIBIT THE CHARACTERISTICS TO MEET SPECIFICATIONS SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR WITHIN TWO WEEKS OF WRITTEN NOTICE FROM THE OWNER OR ENGINEER. THE REPLACEMENT PLANTS SHALL BE FURNISHED AND INSTALLED AT NO ADDITIONAL COST TO THE OWNER AND SHALL BE GUARANTEED FOR SIX (6) MONTHS FROM THE DATE OF INSTALLATION. ALL REPLACEMENTS SHALL MEET ORIGINAL SPECIFICATIONS.

C. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IN WRITING, TEN DAYS PRIOR TO THE END OF THE GUARANTEE PERIOD. THE GUARANTEE SHALL BE EXTENDED UNTIL SUCH WRITTEN NOTIFICATION IS RECEIVED.

**1.04 JOB CONDITIONS**

A. PROTECTION: THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL MATERIALS AND WORK AGAINST INJURY FROM ANY CAUSES. LANDSCAPE CONTRACTOR SHALL PROVIDE AND MAINTAIN ANY NECESSARY SAFEGUARDS FOR THE PROTECTION OF THE PUBLIC. HE SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE OR INJURY TO PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS NEGLIGENCE IN THE EXECUTION OF THE WORK.

**B. EXISTING CONDITIONS:**

1. THE LANDSCAPE CONTRACTOR SHALL EXERCISE CARE IN DIGGING AND OTHER WORK SO AS NOT TO DAMAGE EXISTING WORK INCLUDING OVERHEAD OR UNDERGROUND PIPES, CABLES AND UTILITY LINES OF ANY KIND. SHOULD THE OVERHEAD OR UNDERGROUND OBSTRUCTIONS INTERFERE WITH PLANTING, THE ENGINEER SHALL BE CONSULTED AND WILL ADJUST THE LOCATION OF PLANTS TO CLEAR SUCH OBSTRUCTIONS. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK.

2. SHOULD ANY OBJECTIONABLE MATERIALS SUCH AS OLD CONCRETE, BRICKS OR OTHER DEBRIS BE ENCOUNTERED DURING PLANTING OPERATIONS, THEY SHALL BE REMOVED FROM THE SITE BY THE LANDSCAPE CONTRACTOR.

**1.05 QUALITY CONTROL**

A. THE ENGINEER SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATIONS TO REJECT ANY AND ALL WORK AND MATERIALS WHICH IN HIS/HER OPINION DO NOT MEET WITH THE REQUIREMENTS OF THESE SPECIFICATIONS.

B. ALL PLANTING SHALL BE PERFORMED BY THE PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. ANYTHING PLANTED TOO HIGH OR TOO LOW WITHOUT FERTILIZER OR WATER RINGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

C. ALL WORK SHALL COMPLY WITH APPLICABLE CODE AND REGULATIONS.

D. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE COORDINATION WITH THE OTHER TRADES TO PREVENT CONFLICTS.

**1.06 QUANTITIES**

A. IN THE EVENT OF A DIFFERENT BETWEEN QUANTITIES LISTED IN THE PLANT LIST AND THOSE SHOWN ON THE PLANS, THE PLANS SHALL CONTROL THE QUANTITIES. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO ISSUANCE OF CONTRACT.

**PART 2 -- PRODUCTS**

**2.01 MATERIALS**

A. GENERAL:

1. NOMENCLATURE: ALL TREES, SHRUBS AND PLANTS SHALL BE TRUE TO NAME AS ESTABLISHED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE PUBLICATION "STANDARD PLANT NAMES" THE DESIGNATED AUTHORITY FOR THE IDENTIFICATION OF ALL MATERIAL SHALL BE THE TWO PUBLICATIONS OF L.H. HORTUS III AND MANUAL OF CULTIVATED PLANTS AND ALL SPECIMENS SHALL BE TRUE TO TYPE, NAME ETC.

2. GRADE STANDARDS AND QUALITY: ALL PLANTS SHALL BE NURSERY GROWN AND SHALL COMPLY WITH ALL REQUIRED INSPECTION, GRADING, STANDARDS AND PLANT REGULATIONS AS SET FORTH IN THE FLORIDA DEPARTMENT OF AGRICULTURE'S "GRADES AND STANDARDS FOR NURSERY PLANTS" PART 1 AND 2 (INCLUDING REVISIONS).

A. THE MINIMUM GRADE FOR ALL TREES AND SHRUBS SHALL BE FLORIDA NO. 1 UNLESS OTHERWISE INDICATED AND ALL PLANTS SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED (WHEN IN LEAF). THEY SHALL HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEMS AND SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS, OR LARVAE AND THEIR EFFECTS.

3. MEASUREMENTS: AFTER PRUNING AND SHAPING, THE MINIMUM ACCEPTABLE SIZE OF ALL PLANTS MEASURED WITH BRANCHES IN NORMAL POSITIONS SHALL CONFORM TO THE SPECIFIED SIZES AS SHOWN ON THE PLANS. SIZES SPECIFIED ARE MINIMUM STANDARDS. PLANTS SHALL EQUAL TO OR LARGER THAN ALL CATEGORIES (HEIGHT, SPREAD, CALIPER) SIZE SPECIFICATIONS. SUBSTANTIAL DEVIATIONS FROM THESE MEASUREMENTS MUST BE APPROVED BY THE ENGINEER. CALIPER OF TREE TRUNKS SHALL BE MEASURED 4 FOOT ABOVE THE ROOT BALL.

4. PLANT PROTECTION: PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED, KEPT MOIST AND PROPERLY MAINTAINED UNTIL PLANTED.

B. PLANT MATERIALS: PLANTS FOR LANDSCAPING SHALL BE CLASSIFIED UNDER THE FOLLOWING DESIGNATIONS, WITH REFERENCE TO METHOD OF CULTIVATION, ROOT SYSTEM STATUS, ETC.

1. BALLED AND BURLAPPED: PLANTS SO CLASSIFIED SHALL BE DIG WITH FIRM NATURAL ROOT BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO INCLUDE MOST OF THE FIBROUS ROOTS. THE ROOT BALL OF THESE PLANTS SHALL BE PROPERLY WRAPPED WITH BURLAP SACK MATERIAL AND REMAIN PROTECTED AND WET UNTIL THEY ARE PLANTED. THE PLANT SHALL BE HANDLED ONLY BY THE EARTHBALL AND NOT BY THE PLANT ITSELF. ALL BALLED AND BURLAPPED PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY SHALL BE SET ON THE GROUND AND SHALL BE WELL PROTECTED WITH SOIL, WET MOSS OR OTHER ACCEPTABLE MATERIAL. THE PLANT SHALL BE SET WITH THE BURLAP COVER INTACT WITH THE BURLAP SHOWING. UNTIL INSPECTION, AT FINAL INSPECTION THE BURLAP WILL BE CUT AWAY TO GROUND LEVEL AND THEN COMPLETELY COVERED WITH SOIL. FAILURE TO CUT AWAY OR LAY BACK BURLAP AFTER PLANTING MAY CONSTITUTE REJECTION OF PLANT MATERIAL.

2. CONTAINER GROWN PLANTS: A. CONTAINER GROWN PLANTS SHALL HAVE BEEN GROWN IN A CONTAINER LARGE ENOUGH AND FOR SUFFICIENT TIME TO ENABLE THE ROOT SYSTEM TO HAVE DEVELOPED ENOUGH TO HOLD THE SOIL TOGETHER FIRM AND WHOLE. NO PLANTS SHALL BE LOOSE IN THE CONTAINER. PLANTS WHICH HAVE BECOME POT BOUND OR FOR WHICH THE TOP SYSTEM IS TOO LARGE FOR THE SIZE OF THE CONTAINER WILL NOT BE ACCEPTABLE.

B. ALL CONTAINERS SHALL BE CUT AND OPENED FULLY, IN A MANNER THAT WILL NOT DAMAGE THE ROOT SYSTEM. CONTAINER GROWN PLANTS SHALL NOT BE REMOVED FROM THE CONTAINER UNTIL IMMEDIATELY BEFORE PLANTING.

3. BARE ROOT PLANTS: NO BARE ROOT PLANTS SHALL BE USED.

**C. PLANTING MATERIALS:**

1. TOP SOIL/BACK FILL: A. TOPSOIL SHALL BE FRIABLE LOAM TYPICAL OF LOCAL CULTIVATED TOPSOIL CONTAINING AT LEAST 10% DECAYED ORGANIC MATTER (HUMUS). IT SHALL BE TAKEN FROM A WELL DRAINED SITE. IT SHALL BE REASONABLY FREE OF WEEDS, SUB SOILS, STONES, CLODS, STICKS, ROOTS AND OTHER OBJECTIONABLE EXTRANEOUS MATTER OR DEBRIS. IT SHALL NOT CONTAIN TOXIC MATERIALS AND SHALL HAVE AN ACIDITY RANGE OF pH 5.0-7.0. TOP SOIL FROM NUT GRASS INFESTED AREAS WILL NOT BE ACCEPTABLE.

B. ANY NECESSARY SOIL TESTING SHALL BE THE LANDSCAPE CONTRACTORS RESPONSIBILITY.

C. SOIL PREPARATION: PRIOR TO PLACING MIX AND BACK FILL OR COMMENCING WITH PLANTING, ANY OR ALL AREAS THAT HAVE BEEN PREVIOUSLY COMPACTED FOR OTHER CONSTRUCTION PURPOSES ARE TO BE ROTOTILLED AND TREATED WITH PRE-EMERGENT HERBICIDE.

2. FERTILIZER: FERTILIZER SHALL BE A COMPLETE FERTILIZER OF WHICH 50% OF THE ELEMENTS SHALL BE DERIVED FROM ORGANIC SOURCES. OSMOCOTE SLOW RELEASE 9 MONTH FORMULA OR EQUAL SHALL BE PLACED ACCORDING TO DIRECTIONS BELOW EACH PLANT. IT SHALL CONTAIN THE FOLLOWING MINIMUM PERCENTAGES BY WEIGHT:

- A. NITROGEN N-18%
- B. PHOSPHORUS P-8%
- C. POTASSIUM K-12%
- D. OTHER ANALYSIS AS MAY BE APPROVED BY THE LANDSCAPE ARCHITECT.
- E. IN ADDITION THE RECOMMENDED MICRO NUTRIENTS MUST BE PRESENTING THE GUARANTEED ANALYSIS

3. PLANTING MIXTURE: PLANTING MIXTURE SHALL CONSIST OF APPROXIMATELY FOUR PARTS OF ACCEPTABLE NATURAL TOPSOIL AND ONE PART FULVERIZED PEAT OR STERILIZED MANURE. ACCORDING TO DIRECTIONS COMMERCIAL FERTILIZER HAVING AN ANALYSIS OF 18 6 12, SHALL BE ADDED TO THE BOTTOM OF EACH PLANTING HOLE.

A. AZALEA MIXTURE MUST BE USED FOR PLANTS WHICH PREFER LOW pH. THE NUTRIENT PERCENTAGES--MIRACID 30 10 10. PLANTS WHICH PREFER LOW pH ARE AZALEAS, BLUEBERRIES, CAMELLIAS, DOGWOOD, FERNS, FIR, GARDENIAS, HAWTHORN, HOLLY, HYDRANGEA, JUNEPLER, LAUREL, MAGNOLIA, OAKS, ORCHID, PINE, RHODODENDRON AND RHODODENDRONS.

B. MAKEABLE ARTIFICIALLY PREPARED PLANTING COMPOST MATERIAL APPROVED BY THE ENGINEER WILL BE PERMITTED, IN LIEU OF THE PULVERIZED PEAT OR STERILIZED MANURE, IN THE PREPARED NATURAL TOPSOIL MIXTURE FOR USE AS BACK FILL MATERIAL.

4. MULCH: WOOD MULCH SHALL BE SHREDDED CYPRESS, PINE BARK, PINE NEEDLES, OR OAK LEAVES CLEAN, AND FREE OF WEEDS, MOSS, STICKS OR OTHER DEBRIS.

5. WATER: SUITABLE WATER AND WATERING EQUIPMENT FOR THE IRRIGATION OF THE NEW PLANTINGS DURING THE PROGRESS OF INSTALLATION AND THE GUARANTEE PERIOD SHALL BE PROVIDED BY THE LANDSCAPE CONTRACTOR. ARRANGEMENTS MAY BE MADE WITH THE OWNER, IF THE PERMANENT IRRIGATION SYSTEM HAS BEEN INSTALLED AND IS OPERABLE.

**PART 3 -- EXECUTION**

**3.01 PREPARATION**

**A. UNDERGROUND OBSTRUCTIONS:**

1. THE OWNER SHALL PROVIDE PLANS SHOWING THE LOCATION OF KNOWN UNDERGROUND UTILITIES.

2. IN THE EVENT THAT ROCK, UNDERGROUND CONSTRUCTION WORK, UTILITY LINES OR OBSTRUCTIONS OUT OF THE ORDINARY ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION, DEFERRED TO THE LOCATION OF THE OBSTRUCTION. WHERE LOCATIONS CANNOT BE CHANGED AND THE OBSTRUCTION MAY BE REMOVED THE OBSTRUCTION SHALL BE REMOVED TO A DEPTH OF 3' BELOW GRADE AND NO LESS THAN 6" BELOW BOTTOM OF THE ROOT BALL WHEN PLANT IS PROPERLY INSTALLED AT THE REQUIRED GRADE.

**B. EXCAVATION OF PLANTING BEDS AND/OR PLANT HOLES:**

1. WHERE EXCAVATION ENCOUNTERS MATERIALS WHICH ARE UNSUITABLE FOR PLANT GROWTH, ALL OF THE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH PLANTING MIXTURE.

2. WHERE EXCAVATION ENCOUNTERS MATERIALS WHICH ARE SUITABLE FOR PLANT GROWTH, THE PLANT HOLE EXCAVATION SHALL BE CYLINDRICAL IN SHAPE, WITH THE SHAPED VERTICAL. PLANTS SHALL BE CENTERED IN THE HOLES WITH THE TRUNK VERTICAL. (NOT NECESSARILY PERPENDICULAR TO GRADE), LOCATIONS AS SHOWN IN DETAIL. BOTTOMS OF THE HOLES SHALL BE LOOSENED AND BACK FILLED AT LEAST 6" DEEPER THAN THE REQUIRED DEPTH OF EXCAVATION. FERTILIZER IS TO BE PLACED AT THE BOTTOM OF EACH HOLE TO ENSURE DEEP ROOTING.

3. PROTECTION OF EXISTING TREES: THE CONTRACTOR SHALL PROTECT EXISTING TREES FROM DAMAGE, WHERE DAMAGE DOES OCCUR, THE CONTRACTOR SHALL REMOVE DAMAGED TREE AND REPLACE IT WITH THE APPROPRIATE KIND AND SIZE RECOMMENDED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.

4. GRADES: IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS ELIMINATING ALL SURFACE IRREGULARITIES, DEPRESSIONS, STICKS, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE ENGINEER. AFTER THE GRADE HAS BEEN ESTABLISHED AND CONFORMS TO THE REQUIRED DEPTH, NO SOD SHALL BE LAID UNTIL THE GRADE HAS BEEN APPROVED.

**3.02 PLANTING**

**A. SETTING OF PLANTS:**

1. WHEN LOWERED INTO THE HOLE THE PLANT SHALL REST ON A PREPARED HOLE BOTTOM SUCH THAT THE ROOTS ARE LEVEL WITH OR SLIGHTLY ABOVE THE LEVEL OF THEIR PREVIOUS GROWTH AND SO ORIENTED SUCH AS TO PRESENT THE BEST APPEARANCE. THE CONTRACTOR WHEN SETTING PLANTS IN HOLES, SHALL MAKE ALLOWANCES FOR ANY ANTICIPATED SETTLING OF THE PLANTS.

2. THE BACK FILL SHALL BE MADE WITH PREPARED TOPSOIL AS SPECIFIED IN SECTION 3.1 AND SHALL BE FIRMLY PACKED AND WATERED IN, SO THAT NO AIR POCKETS REMAIN. THE QUANTITY OF WATER APPLIED IMMEDIATELY UPON PLANTING SHALL BE SUFFICIENT TO THOROUGHLY MOISTEN ALL OF THE BACK FILLED EARTH. PLANTS SHALL BE KEPT IN A MOISTENED CONDITION FOR THE INITIAL TWO WEEKS AFTER PLANTING.

B. STAKING AND GUYING: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL PLANTS IN A PLUMB, UPRIGHT POSITION UNTIL THE END OF THE GUARANTEE PERIOD. STAKING SHALL BE THE OPTION OF THE CONTRACTOR, ALTHOUGH ALL DAMAGED PLANTS RESULTING FROM THE LACK OF PROTECTION SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO EXPENSE TO THE OWNER. ALL TREE GUYS SHALL BE FLAGGED WITH YELLOW SAFETY RIBBON.

**C. PRUNING:**

1. ALL BROKEN OR DAMAGED ROOTS SHALL BE CUT OFF SMOOTHLY AND THE TOPS OF ALL TREES SHALL BE PRUNED IN A MANNER COMPLYING WITH STANDARD HORTICULTURAL PRACTICE. AT THE TIME PRUNING IS COMPLETED, ALL REMAINING WOOD SHALL BE ALIVE. ALL CUT SURFACES OF ONE (1) INCH OR MORE IN DIAMETER, ABOVE THE GROUND, SHALL BE TREATED WITH AN APPROVED COMMERCIAL TREE PAINT. FINE PRUNING FOR TREE SHAPE AND APPEARANCE SHALL BE DONE PRIOR TO FINAL ACCEPTANCE.

2. AT THE END OF THE GUARANTEE PERIOD AT LEAST 95% OF THE WOOD REMAINING SHALL BE ALIVE.

D. MULCHING: WITH IN ONE WEEK AFTER PLANTING MULCH MATERIAL SHALL BE UNIFORMLY APPLIED TO A MINIMUM LOOSE THICKNESS OF 3 INCHES OVER THE ENTIRE AREA OF THE BACK FILLED HOLE OR BED. DO NOT LET MULCH CONTACT DIRECTLY THE CROWN OF THE TREE OR TRUNK. THE MULCH SHALL BE MAINTAINED CONTINUOUSLY IN PLACE UNTIL THE TIME OF FINAL INSPECTION. MULCHING OF ANNUAL BEDS TO BE EXCHANGED MORE THAN TWO TIMES PER YEAR SHALL NOT BE MULCHED BUT AMENDED WITH PEAT AND TREATED WITH A PRE-EMERGENT HERBICIDE. ALL FREE STANDING TREES SHALL HAVE A 3' DIAMETER RING OF MULCH.

E. WATERING: THE LANDSCAPE CONTRACTOR SHALL CONTINUE WATERING FOR AS LONG AS IS NECESSARY TO PROPERLY ESTABLISH THE NEW PLANTINGS. CARE SHALL BE TAKEN TO PREVENT STAINING OF NEW CONSTRUCTION AREAS, WHERE TEMPORARY WET WATER IS USED.

F. PEST CONTROL: PRIOR TO FINAL ACCEPTANCE IN 6 MONTHS, ANY OCCURRENCE OF SCALE, BORERS, FOLIAR FEEDERS, APHIDS, MITES, LEAF SPOT, DIEBACK, NEMATODES AND FUNGI, SHALL BE TREATED IMMEDIATELY WITH APPROPRIATE PESTICIDE, OR FUNGICIDE, BY THE LANDSCAPE CONTRACTOR.

G. FERTILIZER: ALL LAWNS SHALL RECEIVE FERTILIZER EVERY THREE MONTHS DURING THE PLANTING AND GUARANTEE PERIOD WITH 50% ORGANIC 16 4 8. ALL PLANTS TO BE FERTILIZED WITH OSMOCOTE 9 MONTH 18 6 12.

**3.03 BERMING**

A. FILL DIRT: FILL DIRT SHALL BE LOCALLY OBTAINED MATERIAL FROM NATURALLY DRAINED SOURCES, FREE FROM STONES LARGER THAN 1 INCH DIAMETER AND OTHER MATERIALS HARMFUL TO SUCCESSFUL DRAINAGE AND PLANT GROWTH. SOIL SHALL BE WELL MIXED. A MAXIMUM OF 25% MUCK OR CLAY COMPOSITION WILL BE ACCEPTABLE, PROVIDED THE LANDSCAPE CONTRACTOR CONDUCT A PERCOLATION TEST WHICH PROVES THAT STANDING WATER WILL DRAIN WITHIN A 10 HOUR PERIOD.

B. GRADING: GRADE AREAS INDICATED WITH UNIFORM LEVELS OR SLOPES WITH NO MORE THAN 3:1 MAXIMUM SLOPE. BERMS SHALL BE GENTLY ROLLING AND PARABOLIC.

C. REPAIR: GRADES WHICH ARE UNDER THE ENGINEER SCOPE, WHICH HAVE SETTLED, ERODED, RUTTED OR ARE OTHERWISE DAMAGED WILL BE REPAIRED AND REESTABLISHED BY THE LANDSCAPE CONTRACTOR.

**3.04 SODDING**

A. THE SOD SHALL BE OF FIRM TIGHT TEXTURE HAVING A COMPACT GROWTH OF GRASS WITH GOOD ROOT DEVELOPMENT. IT SHALL CONTAIN NO BERMUDA GRASS, WEEDS OR ANY OTHER OBJECTIONABLE VEGETATION. THE SOIL EMBEDDED IN THE SOD SHALL BE GOOD CLEAN EARTH FREE FROM STONES AND DEBRIS. THE SOD SHALL BE FREE FROM FUNGUS, INSECTS, GRUBS AND OTHER DISEASES. SOD AREAS ARE TO BE RAKED SMOOTH AND WATERED PRIOR TO SOD INSTALLATION. ADJACENT TO SIDEWALKS AND CURBS REDUCE GRADE 1" TO ALLOW FOR GRASS BUILD UP.

B. SOLID SOD SHALL BE LAID WITH TIGHTLY ABUTTING JOINTS AND TAMPERED OR ROLLED EVEN. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CREATE A NEAT CLEAN EDGE OF SOD ADJACENT TO ALL PAVING AND SHRUB AREAS.

C. AFTER THE SOD IS LAID, A TOP DRESSING OF CLEAN SAND WILL BE EVENLY APPLIED TO THE JOINTS WHICH NEED FILLING.

D. IN ORDER TO PREVENT SLIPPAGE, AND TO PREVENT WASH OUT OF STRAIGHT SEAMS, SOD WILL BE PEGGED ON SLOPES AND PLACED IN A STAGGERED FASHION.

E. ALL SOD AREAS WILL BE TREATED WITH A FERTILIZER CONTAINING THE RATIO 16 4 8 WHICH IS 50% ORGANIC WITH MICRO NUTRIENTS, AT A RATE OF 10 LB/1000 S.F. THIS SHALL BE DONE ONCE AT THE BEGINNING AND AGAIN AT THE END OF THE 3 MONTH SOD GUARANTEE PERIOD.

**3.05 FIELD QUALITY CONTROL**

**A. MAINTENANCE PRIOR TO FINAL ACCEPTANCE:**

1. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE AT THE END OF THE GUARANTEE PERIOD. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED AND OTHERWISE MAINTAINED AND PROTECTED FOR THE PERIOD OF TIME STATED ABOVE. SOD SHALL BE MOVED ON A REGULAR BASIS, ONCE PER WEEK IN THE SUMMER (MAY-OCT) AND ONCE A MONTH IN THE WINTER. A SEPARATE CONTRACT FOR THIS CAN BE LET BY THE OWNER, BUT IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE MATERIALS ARE PROPERLY MAINTAINED.

2. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE POSITION. PLANTING SAUCERS MUST BE CONTINUOUSLY MAINTAINED.

3. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT. UPON COMPLETION OF PLANTING THE LANDSCAPE CONTRACTOR SHALL REMOVE FROM THE SITE EXCESS SOIL AND DEBRIS, AND REPAIR ANY DAMAGE TO STRUCTURES, ETC. RESULTING FROM PLANTING OPERATIONS.

4. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROTECTION AGAINST MECHANICAL DAMAGE INCLUDING PROTECTION FROM VEHICLES, BY POSTING OF APPROVED WARNING SIGNS AND/OR BARRICADES, AS MIGHT BE NECESSARY. HE SHALL REPAIR, RESTORE OR REPLACE ANY PLANTS OR PLANTING AREAS WHICH MAY BECOME DAMAGED AS A RESULT OF ANY NEGLIGENCE BY HIM IN COMPLYING WITH THESE REQUIREMENTS. AS A SPECIFIC REQUIREMENT OF THESE CONDITIONS, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING THAT ALL PLANTS AT THE TIME OF FINAL INSPECTION EXHIBIT THE CHARACTERISTICS AND QUALIFICATION REQUIRED FOR THE GRADE OF PLANT AS ORIGINALLY SPECIFIED.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL WATERING REQUIRED IF IRRIGATION PROVES TO BE INADEQUATE FOR FRESHLY PLANTED MATERIAL.

6. EXCEPT AS OTHERWISE SPECIFIED THE LANDSCAPE CONTRACTOR WORK SHALL CONFORM TO ACCEPTED HORTICULTURAL PRACTICES.

**B. PROVISIONAL ACCEPTANCE:**

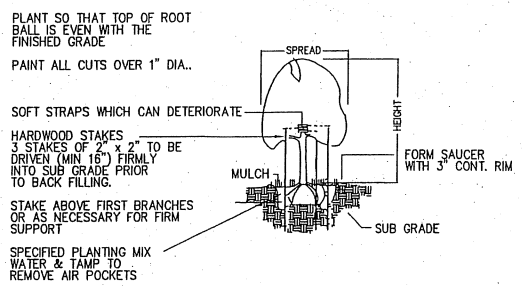
1. UPON COMPLETION OF ALL WORK INCLUDING MAINTENANCE, THE LANDSCAPE CONTRACTOR SHALL ARRANGE FOR A PROVISIONAL INSPECTION. THE LANDSCAPE WORK MAY BE REVIEWED FOR ACCEPTANCE IN PARTS, PROVIDED THE WORK OF ONE UNIT OR AREA PART IS OF SUBSTANTIAL SIZE.

2. THE DATE OF PROVISIONAL ACCEPTANCE SHALL MARK THE BEGINNING OF THE GUARANTEE PERIOD. THIS DATE MUST BE SPECIFIED BY WRITTEN NOTIFICATION TO THE ENGINEER AND THE OWNER.

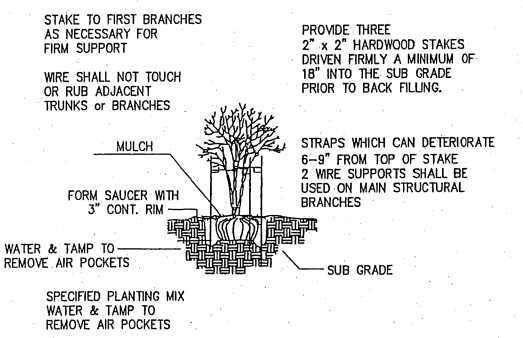
**C. FINAL ACCEPTANCE INSPECTION:**

1. AT THE END OF THE GUARANTEE PERIOD, INSPECTION OF PLANTS WILL BE MADE BY THE LANDSCAPE ARCHITECT/OR OWNER. WRITTEN NOTICE IS TO BE SUBMITTED TO THE ENGINEER OWNER BY THE CONTRACTOR AT LEAST TEN DAYS BEFORE THE ANTICIPATED INSPECTION DATE.

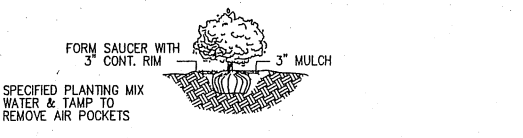
2. ALL DEFECTS DISCOVERED SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER, WITH IN TWO WEEKS OF THIS INSPECTION OR THE CONTINGENT FINAL ACCEPTANCE OF THE GUARANTEE INSPECTION SHALL BE VOID AND A NEW FINAL GUARANTEE INSPECTION SCHEDULED.



**SINGLE TREE TRUNK STAKING**



**MULTI-TRUNK TREE STAKING**



**SHRUB PLANTING DETAIL**

**3.06 ADJUSTMENT AND CLEANING**

A. CLEANING UP THE SITE: UPON COMPLETION OF ANY PORTION OF THE LANDSCAPE PROJECT THE LANDSCAPE CONTRACTOR MUST THOROUGHLY CLEAN UP THE PROJECT SITE. IN ADDITION TO REMOVING ALL EQUIPMENT, UNUSED MATERIALS, DELETERIOUS MATERIAL AND SURPLUS MATERIAL, THE LANDSCAPE CONTRACTOR SHALL FINE GRADE ALL DISTURBED AREAS AND THE AREAS ADJACENT TO THE NEW PLANTINGS TO PROVIDE A NEAT AND UNIFORM SITE. SPECIFICALLY, THE SOD AREAS ADJACENT MUST BE AS REQUIRED, ALL DAMAGED OR ALTERED EXISTING STRUCTURES, AS A RESULT OF THE LANDSCAPE WORK SHALL BE CORRECTED BEFORE PROVISIONAL ACCEPTANCE IS GRANTED AND GUARANTEE PERIOD BEGINS.

B. ADDITIONAL PLANT MATERIAL: ADDITIONAL PLANT MATERIAL REQUIRED DUE TO A DISCREPANCY IN THE PLANT LIST, THE PLANS OR CHANGES IN THE SITE SHALL BE PROVIDED AT THE SAME RATE AS ORIGINALLY SPECIFIED IN THE BID. ANY DEVIATIONS FROM THE PLANS PROVIDED SHALL REQUIRE A CHANGE ORDER SIGNED BY THE ENGINEER, PRIOR TO THE WORK.

**3.07 TRANSPLANTING OPERATIONS**

THE LANDSCAPE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO MINIMIZE SHOCK OF ROOT PRUNING AND TRANSPLANTING IN ACCORDANCE WITH NURSERY TRADE PROCEDURES INCLUDING THE FOLLOWING WHERE TIME IS AVAILABLE.

**A. PHASE ONE - INITIAL REMOVAL**

1. ROOT PRUNE ONE THIRD OF BALL AT A TIME A MINIMUM OF 6 WEEKS BEFORE REMOVAL.

2. THIN OUT INTERIOR CROWN OF DICOTS IN A MANOR, TO COMPENSATE FOR ROOT LOSS, LEAVING THE SHAPE OF THE CANOPY INTACT.

3. LEAVE MONOCOT LEAVES ALONE ALLOWING PLANT TO BALANCE ITSELF PROTECT GROWING POINT AS NECESSARY.

4. AFTER ROOT PRUNING BACK FILL WITH GOOD ORGANIC ROOTING MEDIUM FERTILIZE WITH ORGANIC FERTILIZER TO PROMOTE ROOT GROWTH. FULLY PROTECT PLANTS FROM DAMAGE BY SUN, WIND, DROUGHT, WATER AND OTHER INJURIOUS CONDITIONS DURING TEMPORARY STORAGE.

5. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THESE STORED PLANTS UNTIL THEIR REUSE. HE SHALL NOTIFY THE OWNER IN WRITING OF ANY CONDITIONS BEYOND HIS CONTROL, WHICH ARE ADVERSELY AFFECTING THE STORED PLANTS.

B. PHASE TWO - STORAGE UNTIL REPLANTING SEE AREA DESIGNATED ON PLANS OR PROVIDE OFF SITE TEMPORARY STORAGE.

1. PROVIDE TEMPORARY IRRIGATION FOR THIS HOLDING AREA. MULCH TO REDUCE WEEDS, DISCOURAGE FOOT TRAFFIC AND ITS COMPACTING EFFECT, CONSERVE MOISTURE AND MINIMIZE TEMPERATURE FLUCTUATIONS.

2. BRACE TRUNK AND LEAVE IN PLACE UNTIL TREES ARE WIND FIRM.

3. WRAP TRUNKS AND STRUCTURAL BRANCHES WITH BARKED TREES TO PROTECT AGAINST SUN SCALD AND DEHYDRATION. RETAIN THIS PROTECTION THROUGH THE COLD SEASON.

4. FEED WITH DILUTED SOLUTION OF NPK IN SOLUBLE FORM WITH A SOIL NEEDLE PROVIDING WATER AIR, NUTRIENTS AND A BREAKING UP OF CLODS.

5. WHERE FOLIAGE IS RETAINED SPRAY IT WITH ONE OF THE SOLUBLE AREA TYPES OF FOLIAR FEEDERS.

6. AT TIME OF REPLANTING TO FILL AIR POCKETS AND TO KEEP ROOTS, ESPECIALLY FEEDER ROOTS, MOIST, LIVE AND HEALTHY, USE SOIL NEEDLE FOR WATERING NEW TRANSPLANTS. DIRECT FINE SPRAY AT FOLIAGE TO HELP HARDEN OFF NEW LEAVES.

DATE	REVISIONS
03.31.17	CURRENT EDITION
05.25.17	REV PER ADDITIONAL REVIEW
	DATE

**AMERICAN CIVIL ENGINEERING CO.**

cert. of authorization number #729

207 N. NUSSE RD., SUITE 614, WINTER SPRINGS, FLA 32789  
PH: (407) 927-7706; FAX: (407) 927-0627

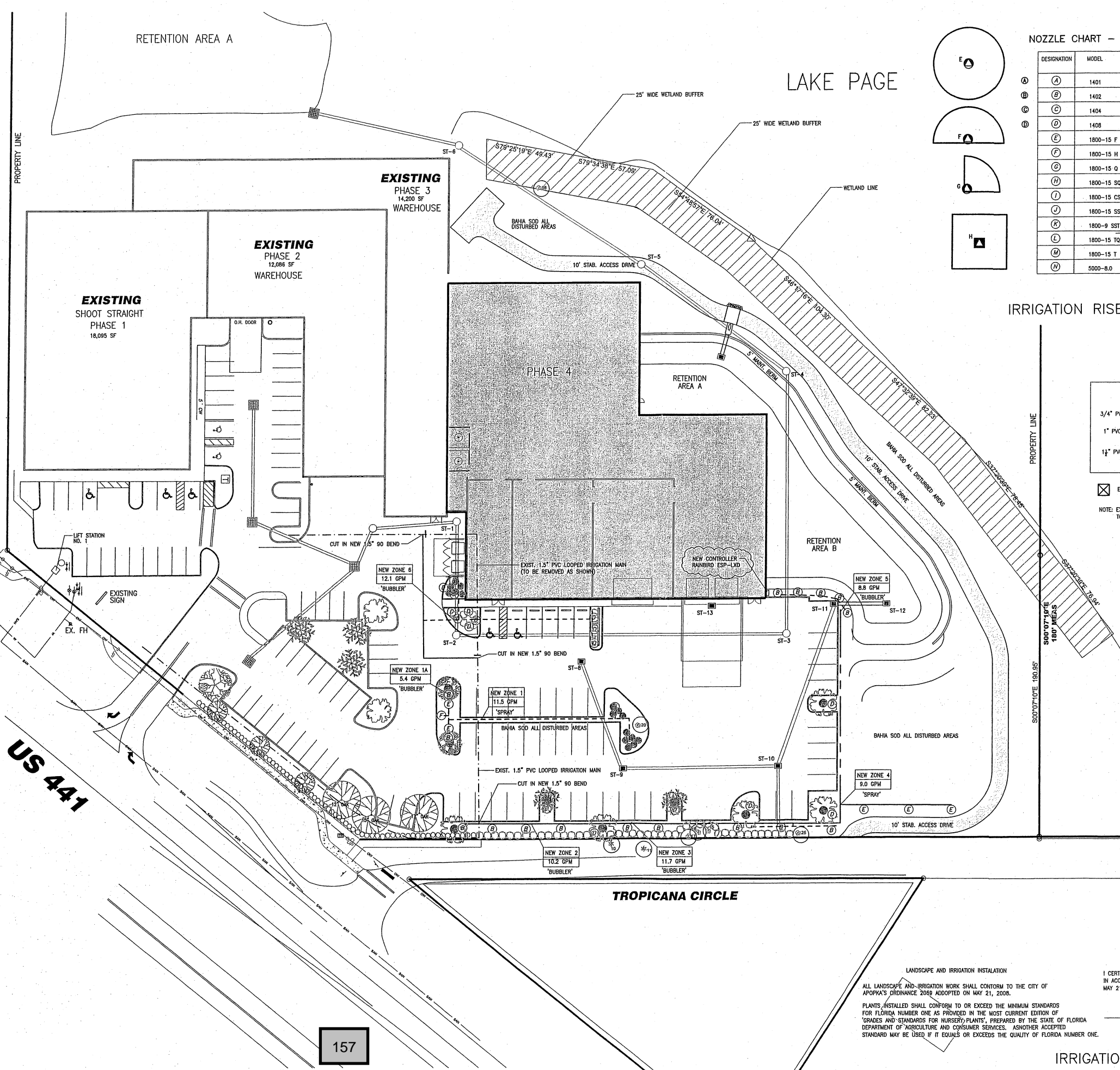
LANDSCAPE SPECIFICATIONS

**Shoot Straight Warehouse Addition-Ph. 4**

APOPKA, FLORIDA

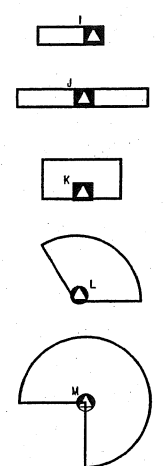
JOHN HERBERT, P.E.  
LICENSE  
No. 39595  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

JUL 21 2017  
LS SPECIFICATIONS  
project no. 12040  
sheet number  
**11 of 15**



NOZZLE CHART - ALL POP UP SPRAY HEADS

DESIGNATION	MODEL	FLOW (GPM)	RADIUS (FEET)	PATTERN
(A)	1401	0.25	1.5'	1-STREAM BUBBLER
(B)	1402	0.25	2.5'	2-STREAM BUBBLER
(C)	1404	1.0	1.5'	UMBRELLA BUBBLER
(D)	1408	2.0	2.5'	UMBRELLA BUBBLER
(E)	1800-15 F	3.7	15'	FULL CIRCLE
(F)	1800-15 H	1.9	15'	HALF CIRCLE
(G)	1800-15 Q	1.0	15'	QUARTER CIRCLE
(H)	1800-15 SQ	3.7	23'x23'	CENTER SQUARE
(I)	1800-15 CST	0.6	4'x15'	SIDE STRIP
(J)	1800-15 SST	1.2	4'x30'	SIDE STRIP
(K)	1800-9 SST	1.7	9'x18'	SIDE SQUARE
(L)	1800-15 TQ	2.8	15'	3/4 CIRCLE
(M)	1800-15 T	1.2	15'	1/3 CIRCLE
(N)	5000-8.0	5.9	40'	FULL CIRCLE



IRRIGATION RISERS ARE NOT ALLOWED

PIPE LEGEND

3/4" PVC PIPE	---
1" PVC PIPE	---
1 1/2" PVC PIPE	---

ELECTRIC REMOTE-CONTROL VALVE TO MATCH EXISTING EQUIPMENT

NOTE: EXISTING AND PROPOSED SPRINKLER HEADS TO BE FIELD ADJUSTED TO PROVIDE 100% COVERAGE OF NEW AND EXISTING LANDSCAPE MATERIAL.

ZONE SUMMARY

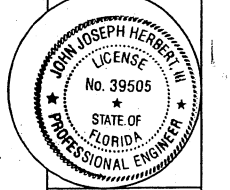
ZONE	RUN TIME (MIN.)	FLOW (GPM)	AREA (SQ. FT.)	PRECIPITATION (INCHES)
1	30 MIN.	11.5	1350	1/4"
1A	30 MIN.	5.4	675	1/4"
2	30 MIN.	10.2	510	1/4"
3	30 MIN.	11.7	720	1/4"
4	30 MIN.	9.0	2550	1/4"
5	30 MIN.	8.8	354	1/4"
6	30 MIN.	12.1	503	1/4"

REVISIONS

NO.	DATE	REVISIONS
05.23.17		REV. PER APOPKA REVIEW

**AMERICAN CIVIL ENGINEERING CO.**  
 207 N. MOSS RD., SUITE 211, WINTER SPRINGS, FLA 32789  
 PH. (407) 327-7700; FAX (407) 327-0827

IRRIGATION PLAN  
**Shoot Straight Warehouse Addition-Ph. 4**  
 APOPKA, FLORIDA



LANDSCAPE AND IRRIGATION INSTALLATION

ALL LANDSCAPE AND IRRIGATION WORK SHALL CONFORM TO THE CITY OF APOPKA'S ORDINANCE 2008 ADOPTED ON MAY 21, 2008.

PLANTS INSTALLED SHALL CONFORM TO OR EXCEED THE MINIMUM STANDARDS FOR FLORIDA NUMBER ONE AS PROVIDED IN THE MOST CURRENT EDITION OF 'GRADES AND STANDARDS FOR NURSERY PLANTS', PREPARED BY THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ANOTHER ACCEPTED STANDARD MAY BE USED IF IT EQUALS OR EXCEEDS THE QUALITY OF FLORIDA NUMBER ONE.

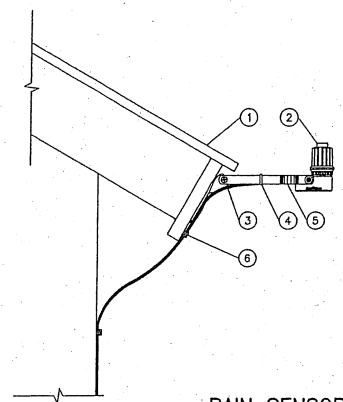
LANDSCAPE AND IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2008 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE \_\_\_\_\_ LIC. NO. 39505 DATE \_\_\_\_\_

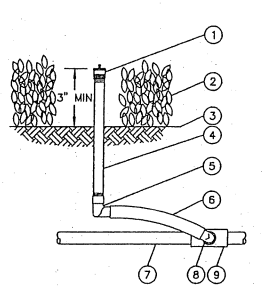
project no. 12054  
 sheet number 15 of 15

IRRIGATION RISERS ARE NOT ALLOWED



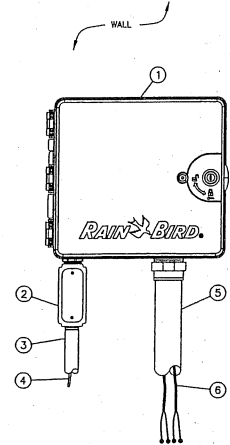
- 1 EAVE OF BUILDING
- 2 RAIN SENSOR: RAIN BIRD RSD-BEX
- 3 WIRE TO IRRIGATION CONTROLLER
- 4 PLASTIC TIE DOWN STRAP
- 5 MOUNTING BRACKET
- 6 SECURE WIRE WITH CABLE TIE BRACKET (1 OF 2)

RAIN SENSOR RSD-BEX ROOF BRACKET



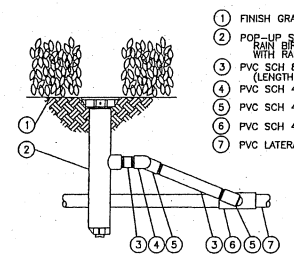
- 1 ADJUSTABLE FULL CIRCLE BUBBLER: RAIN BIRD 1300A-F
- 2 FINISH GRADE/TOP OF MULCH
- 3 PLANT MATERIAL
- 4 UV RADIATION RESISTANT 1/2-INCH PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 5 1/2-INCH FEMALE NPT x 6.450-INCH BARB ELBOW: RAIN BIRD MODEL SBFE-050
- 6 SWING PIPE, 12-INCH LENGTH: RAIN BIRD MODEL SP-100
- 7 PVC LATERAL PIPE
- 8 1/2-INCH MALE NPT x .490-INCH BARB ELBOW: RAIN BIRD MODEL SBE-050
- 9 SCH 40 TEE OR ELL

ADJUSTABLE FULL CIRCLE BUBBLER 1300A-F ON RISER



- 1 TWO-WIRE DECODER CONTROLLER: RAIN BIRD ESP-LXD TWO-WIRE DECODER CONTROLLER IN PLASTIC CABINET WITH WALL MOUNT. INSTALL CONTROLLER AND CABINET ON WALL PER MANUFACTURER'S RECOMMENDATIONS.
- 2 JUNCTION BOX
- 3 1-INCH CONDUIT AND FITTINGS TO POWER SUPPLY
- 4 POWER SUPPLY WIRE
- 5 2-INCH CONDUIT AND FITTINGS FOR TWO-WIRE CABLE
- 6 MAXICABLE TWO-WIRE PATH TO DECODERS USE A DIFFERENT CABLE JACKET COLOR FOR EACH PATH.

ESP-LXD TWO-WIRE DECODER CONTROLLER IN PLASTIC CABINET



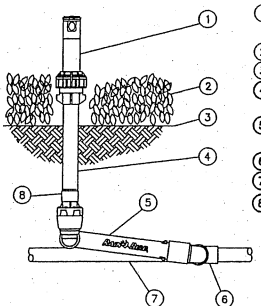
- 1 FINISH GRADE/TOP OF MULCH
- 2 POP-UP SPRAY SPRINKLER: RAIN BIRD 1806-SI WITH 1800 VPC WITH RAIN BIRD ROTARY NOZZLE
- 3 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 4 PVC SCH 40 ELL
- 5 PVC SCH 40 STREET ELL
- 6 PVC SCH 40 TEE OR ELL
- 7 PVC LATERAL PIPE

POP-UP SPRAY SPRINKLER 1806-SI WITH SWING JOINT

NOTE: SIDE INLET CONNECTION SHOULD NOT BE USED IN FREEZING CLIMATES.

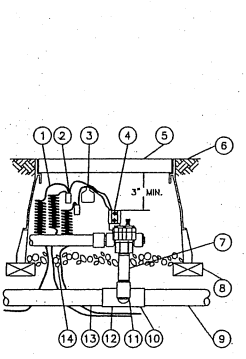
GENERAL NOTES

1. REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
2. ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
3. ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES & BLDG WALLS.
4. THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
5. ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES.
6. THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON THIS PLAN SHOWING THE ALL IRRIGATION INSTALLATION.
7. ALL VALVES AND GATE VALVES SHALL BE INSTALLED IN VALVE BOXES.
8. ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
9. THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY HIS WORK.
10. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
11. ALL IRRIGATION VALVES, CONTROLLER, SPRINKLER HEADS, WIND AND RAIN SENSORS SHALL BE AS MANUFACTURED BY RAIN BIRD.
12. REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE AND SHRUB LOCATIONS.
13. ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 24" OF COVER AND ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER.
14. ALL POP-UP ROTOR AND SPRAY HEADS SHALL BE INSTALLED USING AN 18" PVC FLEX PIPE CONNECTION. CONTRACTOR SHALL NOT USE FLUNTY PIPE.
15. PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. THE SMALLEST LATERAL PIPE SIZE TO A SINGLE SPRAY OR ROTOR HEAD SHALL BE 3/4".
16. ALL RISERS SHALL BE STAKED WITH A 1" WOOD BOWEL AND SECURED WITH UV RESISTANT PLASTIC CABLE TIES. RISERS AND SHALL BE PAINTED FLAT BLACK.
17. ALL REMOTE CONTROL VALVES, GATE VALVES, AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
18. ALL RISERS SHALL BE INSTALLED 12" FROM ANY WALL AND A MINIMUM OF 36" FROM ANY SIDEWALK, PATH, OR ROAD.
19. THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
20. CONTROL WIRE SHALL BE 14-1 UP DIRECT BURIAL, COLORED RED FOR CONTROL WIRES AND WHITE FOR COMMON WIRES. NO CROSS CONNECTION BETWEEN CONTROLLERS SHALL BE ALLOWED. WIRE SPLICES SHALL BE MADE ONLY IN VALVE BOXES USING RAINBIRD "SNAP-TITE" CONNECTORS.
21. ANY PIPING OR VALVES SHOWN OUTSIDE THE PROPERTY LINE OR OUTSIDE OF A LANDSCAPE AREA IS SHOWN THERE FOR DESIGN CLARITY ONLY. ALL PIPING AND VALVES SHALL BE INSTALLED ON THE PROPERTY AND WITHIN LANDSCAPE AREAS.
22. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH, AND EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING BEAMS, WALLS, STRUCTURES, PLANT MATERIALS, AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OR REPLACEMENT OF ALL ITEMS DAMAGED BY HIS WORK. HE SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF SLEEVES AND PIPING THROUGH WALLS, UNDER ROADS AND PARKING, ETC.
23. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS.
24. THE CONTRACTOR SHALL FURNISH AND INSTALL AN APPROVED BACKFLOW PREVENTER AND ALL OTHER EQUIPMENT REQUIRED FOR POTABLE WATER CONNECTIONS PER ALL LOCAL CODES AND REGULATIONS.
25. FINAL LOCATION OF THE AUTOMATIC CONTROLLER(S) SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
26. ELECTRICAL SERVICE TO ALL EQUIPMENT SHALL BE PROVIDED TO A JUNCTION BOX AT THE EQUIPMENT LOCATION. (BY OTHERS NOT A PART OF THIS CONTRACT) THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL CONNECTION FROM THE JUNCTION BOX TO ALL EQUIPMENT.
27. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES TO PROVIDE OPTIMUM COVERAGE WITH MINIMAL OVERSPRAY ONTO WALKS, STREETS, WALLS, ETC. IN ORDER TO ACCOMPLISH THIS, THE CONTRACTOR MAY SUBSTITUTE VARIABLE ARC NOZZLES IN PLACE OF THE SPECIFIED FIXED ARC NOZZLES WHERE NECESSARY PRESSURE COMPENSATING SCREENS MAY ALSO BE USED TO REDUCE SPRAY DISTANCE.
28. THE CONTRACTOR SHALL COMPLETE ALL WORK IN ACCORDANCE WITH ALL PREVALING LAWS, CODES, AND REGULATIONS.
29. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
30. THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE MYLAR SHOWING ALL IRRIGATION INSTALLATION. A COPY OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE AS-BUILT DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
31. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
32. SLEEVES SHALL BE PLACED UNDER PAVEMENT AS SHOWN ON PLANS AND SHALL BE A MINIMUM OF 24" THE SIDE OF THE IRRIGATION PIPE.
33. ALL SPRAY HEADS IN THE ROW SHALL BE EITHER 6" OR 12" POP-UP AS INDICATED ON THE PLANS, NO RISERS ARE PERMITTED IN THE RIGHT-OF-WAY.
34. CONTRACTOR SHALL PERFORM PRESSURE AND VOLUME TEST ON IRRIGATION WATER SOURCE OVER A CONTINUOUS 24 HOUR PERIOD PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK SHOULD THE AVAILABLE SUPPLY NOT BE ADEQUATE TO MEET THE DEMANDS OF THE IRRIGATION SYSTEM AS DESIGNED THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION FOR DESIGN MODIFICATIONS.
35. CONTRACTOR SHALL PROVIDE AND INSTALL ALL POINT OF CONNECTION EQUIPMENT SUCH AS, BUT NOT LIMITED TO, BACKFLOW PREVENTER AND METER AS REQUIRED BY THE GOVERNING JURISDICTION.



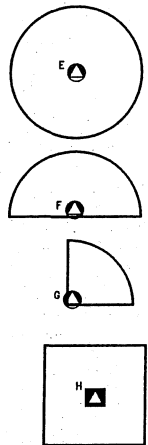
- 1 ROTOR SPRINKLER: RAIN BIRD 5000-S/PC-SAM
- 2 PLANT MATERIAL
- 3 FINISH GRADE
- 4 UV RADIATION RESISTANT PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 5 PRE-FABRICATED SWING JOINT: RAIN BIRD TSA-075-PRS WITH 45 PSI PRESSURE REGULATOR
- 6 PVC SCH 40 TEE OR ELL
- 7 LATERAL PIPE
- 8 PVC SCH 40 COUPLER

ROTOR POP-UP SPRINKLER 5000 SHRUB



- 1 30-INCH LINEAR LENGTH OF WIRE, COILED
- 2 WATERPROOF CONNECTION: RAIN BIRD SPLICE-1 (1 OF 2)
- 3 ID TAG: RAIN BIRD VID SERIES
- 4 REMOTE CONTROL VALVE: RAIN BIRD 100-DV-A WITH BSP THREADS
- 5 VALVE BOX WITH COVER: RAIN BIRD VB-S10
- 6 FINISH GRADE/TOP OF MULCH
- 7 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 8 BRICK (1 OF 4)
- 9 PVC MAINLINE PIPE
- 10 PVC SCH 40 TEE OR ELL
- 11 SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND SCH 40 ELL
- 12 PVC SCH 40 MALE ADAPTER
- 13 PVC LATERAL PIPE
- 14 3.0-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL

ELECTRIC REMOTE-CONTROL VALVE 100-DV-A



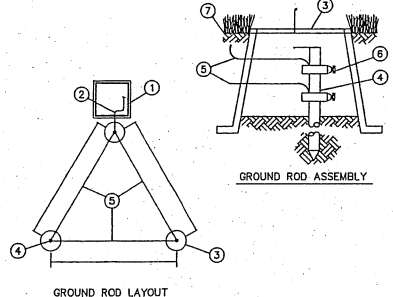
NOZZLE CHART - ALL POP UP SPRAY HEADS

DESIGNATION	MODEL	FLOW (GPM)	RADIUS (FEET)	PATTERN
A	1401	0.25	1.5'	1-STREAM BUBBLER
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H	1800-15 SQ	3.7	23'x23'	CENTER SQUARE
I	1800-15 CST	0.6	4'x15'	SIDE STRIP
J	1800-15 SST	1.2	4'x30'	SIDE STRIP
K	1800-9 SST	1.7	9'x18'	SIDE SQUARE
L	1800-15 TQ	2.8	15'	3/4 CIRCLE
M	1800-15 T	1.2	15'	1/3 CIRCLE
N	5000-8.0	5.9	40'	FULL CIRCLE

ZONE SUMMARY

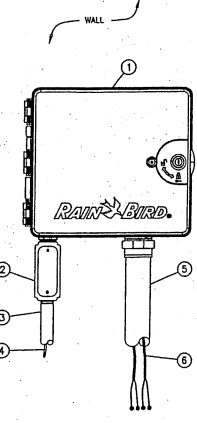
ZONE	RUN TIME (MIN.)	FLOW (GPM)	AREA (SQ. FT.)	PRECIPITATION (INCHES)
1	30 MIN.	11.5	1350	1/4"
1A	30 MIN.	5.4	675	1/4"
2	30 MIN.	10.2	510	1/4"
3	30 MIN.	11.7	720	1/4"
4	30 MIN.	9.0	2550	1/4"
5	30 MIN.	8.8	354	1/4"
6	30 MIN.	12.1	503	1/4"

CONTROLLER GROUNDING GRID Y DESIGN LAYOUT



- 1 RAIN BIRD CONTROLLER
- 2 SOLID BARE COPPER WIRE (#10 AWG) FROM GROUNDING ROD TO CONTROLLER. MAKE WIRE AS SHORT AND STRAIGHT AS POSSIBLE
- 3 COVER GROUNDING ROD WITH 10-INCH ROUND VALVE BOX AS SHOWN
- 4 5/8-INCH X 8 FT COPPER CLAD GROUNDING ROD OR GROUNDING PLATE. INSTALL RODS IN SOIL IN A TRIANGULAR PATTERN SPACED A MINIMUM OF 16 FT APART FROM EACH OTHER. GROUNDING GRID TO HAVE A RESISTANCE OF TEN (10) OHMS OR LESS.
- 5 BARE COPPER WIRE (#10 AWG MIN.) BETWEEN GROUNDING RODS
- 6 GROUND ROD CLAMP OR WELDS
- 7 FINISH GRADE

ESP-LXD TWO-WIRE DECODER CONTROLLER IN PLASTIC CABINET



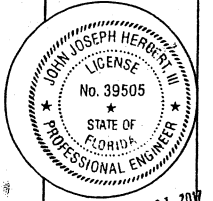
- 1 TWO-WIRE DECODER CONTROLLER: RAIN BIRD ESP-LXD TWO-WIRE DECODER CONTROLLER IN PLASTIC CABINET WITH WALL MOUNT. INSTALL CONTROLLER AND CABINET ON WALL PER MANUFACTURER'S RECOMMENDATIONS.
- 2 JUNCTION BOX
- 3 1-INCH CONDUIT AND FITTINGS TO POWER SUPPLY
- 4 POWER SUPPLY WIRE
- 5 2-INCH CONDUIT AND FITTINGS FOR TWO-WIRE CABLE
- 6 MAXICABLE TWO-WIRE PATH TO DECODERS USE A DIFFERENT CABLE JACKET COLOR FOR EACH PATH.

NOTES:  
 1. ESP-LXD CONTROLLER COMES WITH 50 STATIONS AVAILABLE. TWO ADDITIONAL 75 STATION ESP-LXD-SUM75 MODULES MAY BE ADDED TO EXPAND THE CONTROLLER UP TO 200 TOTAL STATIONS.  
 2. USE STEEL CONDUIT FOR ABOVE GRADE AND SCH 40 PVC CONDUIT FOR BELOW GRADE CONDITIONS.  
 3. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.

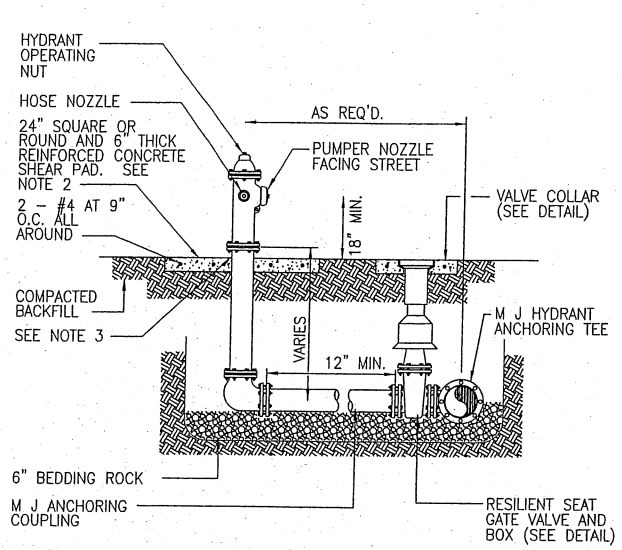
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DATE: 07/21/17	REVISIONS:	CURRENT EDITION	PRODUCT NO. 000

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 207 N. MOSE RD., SUITE 211, WINTER SPRINGS, FLA 32708  
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IRRIGATION SPECIFICATION & DETAILS  
**Shoot Straight Warehouse Addition-2017**  
 APOPKA, FLORIDA

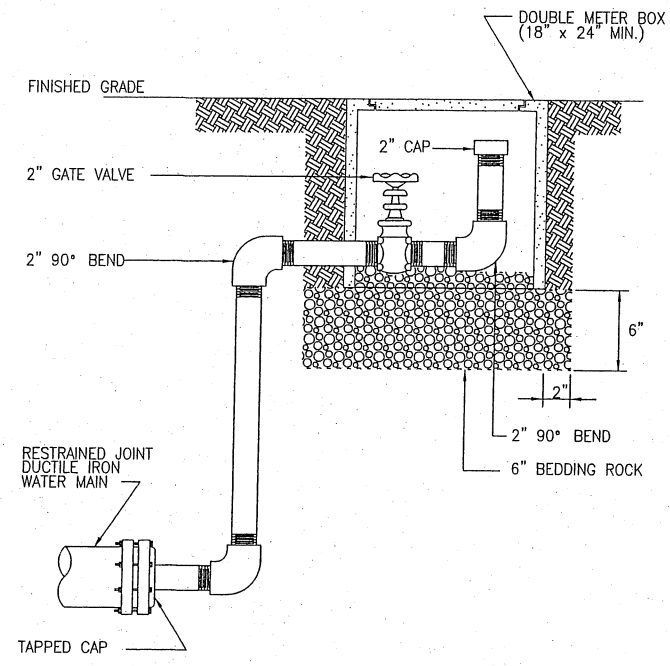


SEAL DATE: JUL 21 2017  
 SHEET: 13 OF 15



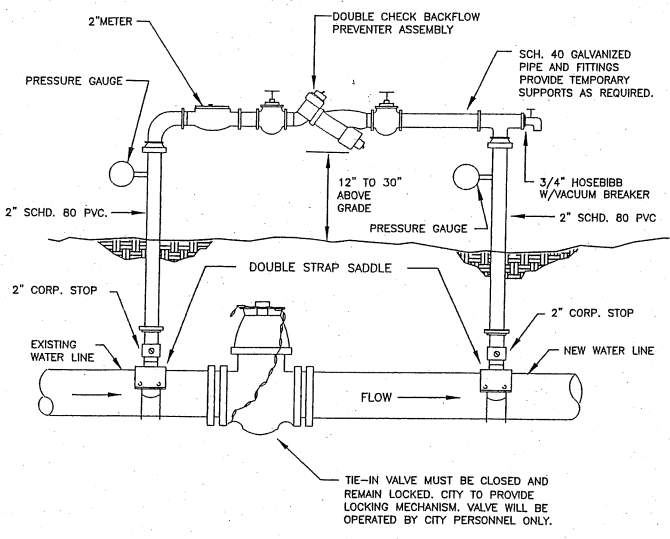
- NOTES:
1. FIRE HYDRANT SHALL BE SUPPLIED WITHOUT A WEEP HOLE, OR WITH A PERMANENTLY PLUGGED WEEP HOLE.
  2. THE DEVELOPER MAY INSTALL THE SHEAR PAD RECESSED UP TO 4 INCHES BELOW FINISHED GRADE AND SOD THE RECESSED SECTION.
  3. CLEARANCE BETWEEN BOTTOM OF BOLTS AND TOP OF SHEAR PAD SHALL BE A 6" MINIMUM.

FIRE HYDRANT ASSEMBLY DETAIL  
(FIG. 402)



- NOTES:
1. ALL 2" PIPE AND FITTINGS SHALL BE SCHEDULE 40 GALVANIZED STEEL OR BRASS WITH THREADED (NPT) JOINTS.

BLOWOFF VALVE DETAIL  
(FIG. 403)



- NOTE:
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS, ASSEMBLY, AND THE INSTALLATION OF THE DEVICE.

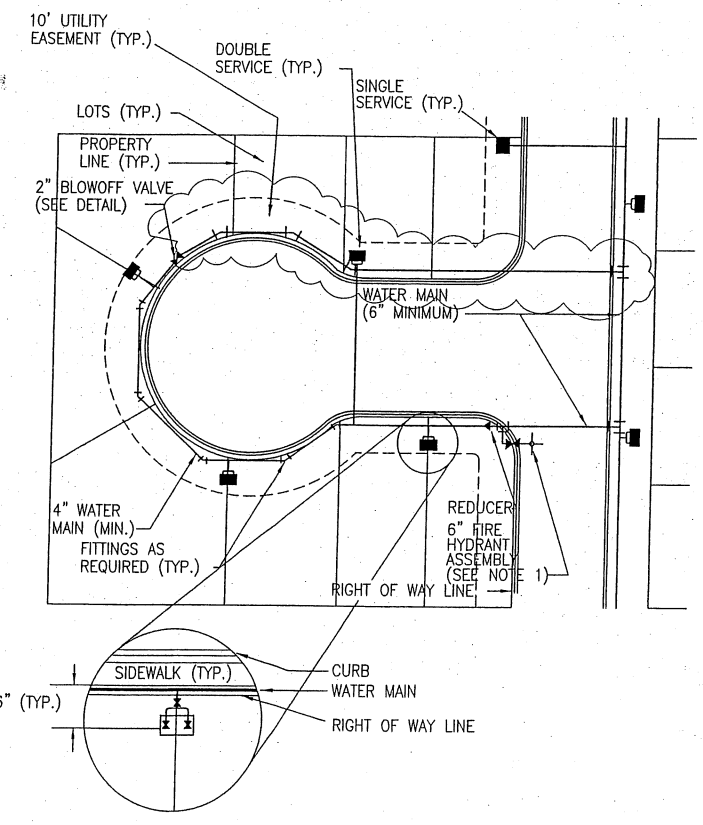
TEMPORARY JUMPER CONNECTION

TEMPORARY JUMPER CONNECTION NOTES:

1. A TEMPORARY JUMPER CONNECTION IS REQUIRED AT ALL CONNECTIONS BETWEEN EXISTING ACTIVE WATER MAINS AND PROPOSED NEW WATER MAIN IMPROVEMENTS.
2. THE DETAIL ABOVE IS TO BE USED FOR FILLING OF NEW MAINS UP TO 8 INCHES IN DIAMETER (2.5 FPS MINIMUM VELOCITY) AND FOR PULLING BACTERIOLOGICAL SAMPLES FROM ANY NEW WATER MAIN OF ANY SIZE. THE JUMPER CONNECTION SHALL BE MAINTAINED UNTIL AFTER FILLING, FLUSHING, TESTING AND DISINFECTION OF THE NEW MAIN HAS BEEN SUCCESSFULLY COMPLETED AND CLEARANCE FOR USE FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP) AND OTHER PERTINENT AGENCIES HAVE BEEN RECEIVED. THE JUMPER CONNECTION SHALL ALSO BE USED TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI IN THE NEW MAINS AFTER DISINFECTION AND UNTIL THE FDEP CLEARANCE LETTER IS OBTAINED ADEQUATE. THRUST BLOCKING AND/OR RESTRAINTS SHALL BE PROVIDED TEMPORARILY, AS REQUIRED. PIPE AND FITTINGS USED FOR CONNECTING THE NEW PIPE TO THE EXISTING PIPE SHALL BE DISINFECTED PRIOR TO INSTALLATION IN ACCORDANCE WITH AWWA C651, 1992 EDITION. THE TAPPING SLEEVE AND THE EXTERIOR OF THE MAIN TO BE TAPPED SHALL BE DISINFECTED BY SPRAYING OR SWABBING PER SECTION II OF AWWA C651-92.
3. FLUSHING OF 10 INCHES IN DIAMETER AND LARGER WATER MAINS MAY BE DONE THROUGH THE TIE-IN VALVE UNDER VERY CONTROLLED CONDITIONS. THE FOLLOWING PROCEDURES SHALL BE FOLLOWED:
  - A. THE TIE-IN VALVES SHALL BE OPERATED AND PRESSURE TESTED IN THE PRESENCE OF THE UTILITY COMPANY AND ENGINEER TO VERIFY WATER TIGHTNESS PRIOR TO TIE-IN. VALVES WHICH ARE NOT WATER TIGHT SHALL BE REPLACED WITH A NEW VALVE INSTALLED IMMEDIATELY ADJACENT TO THE LEAKING VALVE.
  - B. THE TEMPORARY JUMPER CONNECTION SHALL BE CONSTRUCTED AS DETAILED. THE JUMPER CONNECTION SHALL BE USED TO FILL THE NEW WATER MAIN AND FOR PROVIDING WATER FOR BACTERIOLOGICAL SAMPLING OF THE NEW MAIN AS REQUIRED BY THE FDEP PERMIT.
  - C. FLUSHING SHALL NOT BE ATTEMPTED DURING PEAK DEMAND HOURS OF THE EXISTING WATER MAINS.
  - D. ALL DOWNSTREAM VALVES IN THE SYSTEM MUST BE OPEN PRIOR TO OPENING THE TIE-IN VALVE.
  - E. PROVIDE FOR AND MONITOR THE PRESSURE IN THE TIE-IN POINT. THE PRESSURE IN THE EXISTING MAIN MUST NOT DROP BELOW 35 PSI.
  - F. THE TIE-IN VALVE SHALL BE OPENED A FEW TURNS ONLY, ENSURING A PRESSURE DROP ACROSS THE VALVE IS GREATER THAN 10 PSI.
  - G. THE TIE-IN VALVE SHALL BE LOCKED CLOSED BY THE UTILITY COMPANY UNTIL FLUSHING BEGINS.
  - H. THE TIE-IN VALVE SHALL BE OPENED ONLY FOR FLUSHING OF THE NEW MAIN. THE PROCEDURE SHALL BE DIRECTED BY THE UTILITY COMPANY AND OBSERVED BY THE ENGINEER.
  - I. AFTER FLUSHING, THE TIE-IN VALVE SHALL BE CLOSED AND LOCKED IN THE CLOSED POSITION BY THE UTILITY COMPANY.
4. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION DEMONSTRATING THAT THE DOUBLE CHECK BACKFLOW PREVENTION DEVICE HAS BEEN TESTED AND IS IN GOOD WORKING ORDER AT THE TIME OF INSTALLATION.
5. EXCEPT AS REQUIRED TO FLUSH LINES OF GREATER THAN 8 INCHES IN DIAMETER, THE TIE-IN VALVE SHALL REMAIN CLOSED AND SHALL BE LOCKED IN THE CLOSED POSITION BY THE UTILITY COMPANY. THE TIE-IN VALVE SHALL REMAIN LOCKED UNTIL THE NEW SYSTEM HAS BEEN CLEARED FOR USE BY FDEP AND ALL OTHER PERTINENT AGENCIES.
6. UPON RECEIPT OF CLEARANCE FOR USE FROM FDEP AND ALL OTHER PERTINENT AGENCIES, THE CONTRACTOR SHALL REMOVE THE TEMPORARY JUMPER CONNECTION. THE CORPORATION STOPS ARE TO BE CLOSED AND PLUGGED WITH 2 INCH BRASS PLUGS.
7. ALL INSTALLATION AND MAINTENANCE OF THE TEMPORARY JUMPER CONNECTION AND ASSOCIATED BACKFLOW PREVENTION DEVICE, FITTINGS, VALVE, ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

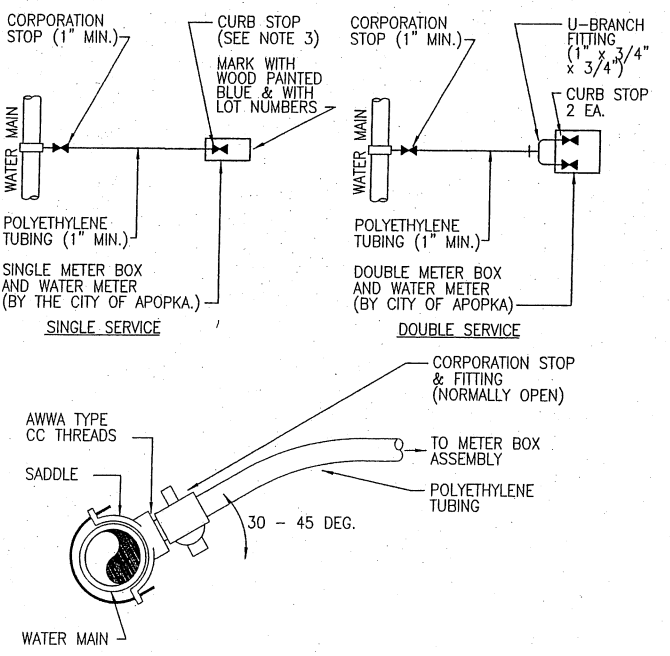
NOTES AS PER AWWA C-651-92:

- SEC. 3 BASIC DISINFECTION PROCEDURE
1. PREVENTING CONTAMINATING MATERIALS FROM ENTERING THE WATER MAIN DURING STORAGE, CONSTRUCTION, OR REPAIR.
  2. REMOVING, BY FLUSHING OF OTHER MEANS, THOSE MATERIALS THAT MAY HAVE ENTERED THE WATER MAIN.
  3. CLOSING ANY RESIDUAL CONTAMINATION THAT MAY REMAIN, AND FLUSHING THE CHLORINATED WATER FROM THE MAIN.
  4. PROTECTING THE EXISTING DISTRIBUTION SYSTEM FROM BACKFLOW DUE TO HYDROSTATIC PRESSURE TEST AND DISINFECTION PROCEDURES.
  5. DETERMINING THE BACTERIOLOGICAL QUALITY BY LABORATORY TEST AFTER DISINFECTION.
  6. FINAL CONNECTION OF THE APPROVED NEW WATER MAIN TO THE ACTIVE DISTRIBUTION SYSTEM.
- SEC. 4.8 BACKFLOW PROTECTION (OPTIONAL)\*
- AS AN OPTIONAL PROCEDURE (IF SPECIFIED BY PURCHASER), THE NEW WATER MAIN SHALL BE KEPT ISOLATED FROM THE ACTIVE DISTRIBUTION SYSTEM BY PHYSICAL SEPARATION (SEE FIGURE 1) UNTIL SATISFACTORY BACTERIOLOGICAL TESTING HAS BEEN COMPLETED AND THE DISINFECTANT WATER FLUSHED OUT. WATER REQUIRED TO FILL THE NEW MAIN FOR HYDROSTATIC PRESSURE TESTING, DISINFECTION, AND FLUSHING SHALL BE SUPPLIED THROUGH A TEMPORARY CONNECTION BETWEEN THE DISTRIBUTION SYSTEM AND THE NEW MAIN. THE TEMPORARY CONNECTION SHALL INCLUDE AN APPROPRIATE CROSS-CONNECTION CONTROL DEVICE CONSISTENT WITH THE DEGREE OF HAZARD, AND SHALL BE DISCONNECTED (PHYSICALLY SEPARATED) FROM THE NEW MAIN DURING THE HYDROSTATIC PRESSURE TEST. IT WILL BE NECESSARY TO REESTABLISH THE TEMPORARY CONNECTION AFTER COMPLETION OF THE HYDROSTATIC PRESSURE TEST TO FLUSH OUT THE DISINFECTANT WATER PRIOR TO FINAL CONNECTION OF THE NEW MAIN TO THE DISTRIBUTION SYSTEM.
- SEC. 9 FINAL CONNECTIONS TO EXISTING MAINS (OPTIONAL)\*
- AS AN OPTIONAL PROCEDURE (IF SPECIFIED BY PURCHASER), WATER MAINS AND APPURTENANCES MUST BE COMPLETELY INSTALLED, FLUSHED, DISINFECTED, AND SATISFACTORY BACTERIOLOGICAL SAMPLE RESULTS RECEIVED PRIOR TO PERMANENT CONNECTIONS BEING MADE TO THE ACTIVE DISTRIBUTION SYSTEM. SANITARY CONSTRUCTION PRACTICES MUST BE FOLLOWED DURING INSTALLATION OF THE FINAL CONNECTION, SO THAT THERE IS NO CONTAMINATION OF THE NEW OR EXISTING WATER MAIN WITH FOREIGN MATERIAL OR GROUNDWATER.
- SEC. 9.1 CONNECTIONS EQUAL TO OR LESS THAN ONE PIPE LENGTH (48 FT. [5.5mm])
- AS AN OPTIONAL PROCEDURE (IF SPECIFIED BY PURCHASER), THE NEW PIPE, FITTINGS, AND VALVE(S) REQUIRED FOR THE CONNECTION MAY BE SPRAY-DISINFECTED OR SWABBED WITH A MINIMUM (1) PERCENT SOLUTION OF CHLORINE JUST PRIOR TO BEING INSTALLED, IF THE TOTAL LENGTH OF CONNECTION FROM THE END OF A NEW MAIN TO THE EXISTING MAIN IS EQUAL TO OR LESS THAN 18 FT. (5.5mm)
- SEC. 9.2 CONNECTIONS GREATER THAN ONE PIPE LENGTH (>18 FT. [5.5mm])
- AS AN OPTIONAL PROCEDURE (IF SPECIFIED BY PURCHASER), THE PIPE REQUIRED FOR THE CONNECTION MUST BE SET UP ABOVEGROUND, DISINFECTED AND BACTERIOLOGICAL SAMPLES TAKEN, AS DESCRIBED IN SEC. 5 THROUGH SEC. 8, IF THE TOTAL LENGTH OF CONNECTION FROM THE END OF A NEW MAIN TO THE EXISTING MAIN IS GREATER THAN 18 FT. (5.5mm). AFTER SATISFACTORY BACTERIOLOGICAL SAMPLE RESULTS HAVE BEEN RECEIVED FOR THIS "PRE-DISINFECTED" PIPE, THE PIPE CAN BE USED IN CONNECTING THE NEW MAIN TO THE ACTIVE DISTRIBUTION SYSTEM. BETWEEN THE TIME THAT SATISFACTORY BACTERIOLOGICAL SAMPLE RESULTS ARE RECEIVED AND THE TIME THAT THE CONNECTION PIPING IS INSTALLED, THE ENDS OF THIS PIPING MUST BE SEALED WITH PLASTIC WRAPS OR WATERTIGHT PLUGS OR CAPS.



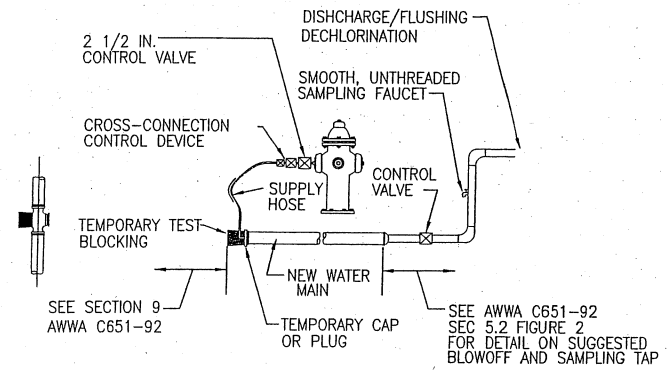
- NOTES:
1. ANCHORING TYPE 90° BEND SHALL ONLY BE USED WHERE RIGHT-OF-WAY CONSTRUCTIONS WILL NOT ALLOW INSTALLATION OF A STRAIGHT ASSEMBLY.

WATER SERVICE LOCATION DETAIL  
(FIG. 404)



- NOTES:
1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/PACK JOINT TYPE CONNECTIONS.
  2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
  3. EACH SERVICE SHALL TERMINATE AT A CURB STOP(S) WHICH SHALL BE BURIED APPROXIMATELY 3" BELOW FINAL GRADE AND SHALL BE CLEARLY MARKED WITH A 2" X 2" X 18" STAKE WITH THE TOP PAINTED BLUE AND MARKED WITH THE NUMBER OF THE LOT(S) TO BE SERVED.

WATER SERVICE CONNECTION DETAILS  
(FIG. 405)



- \* CLEAN POTABLE-WATER HOSE ONLY. SIZE AND NUMBER OF TAPS PER AWWA C-651-92 SECTION 5.2.2 TABLE 3. THIS HOSE MUST BE REMOVED DURING THE HYDROSTATIC PRESSURE TEST.
- NOTE: FIGURE APPLIES TO PIPE WITH DIAMETERS 4 IN.(100mm) THROUGH 12 IN.(300mm). ALL LARGER SIZES MUST BE HANDLED ON A CASE-BY-CASE BASIS.

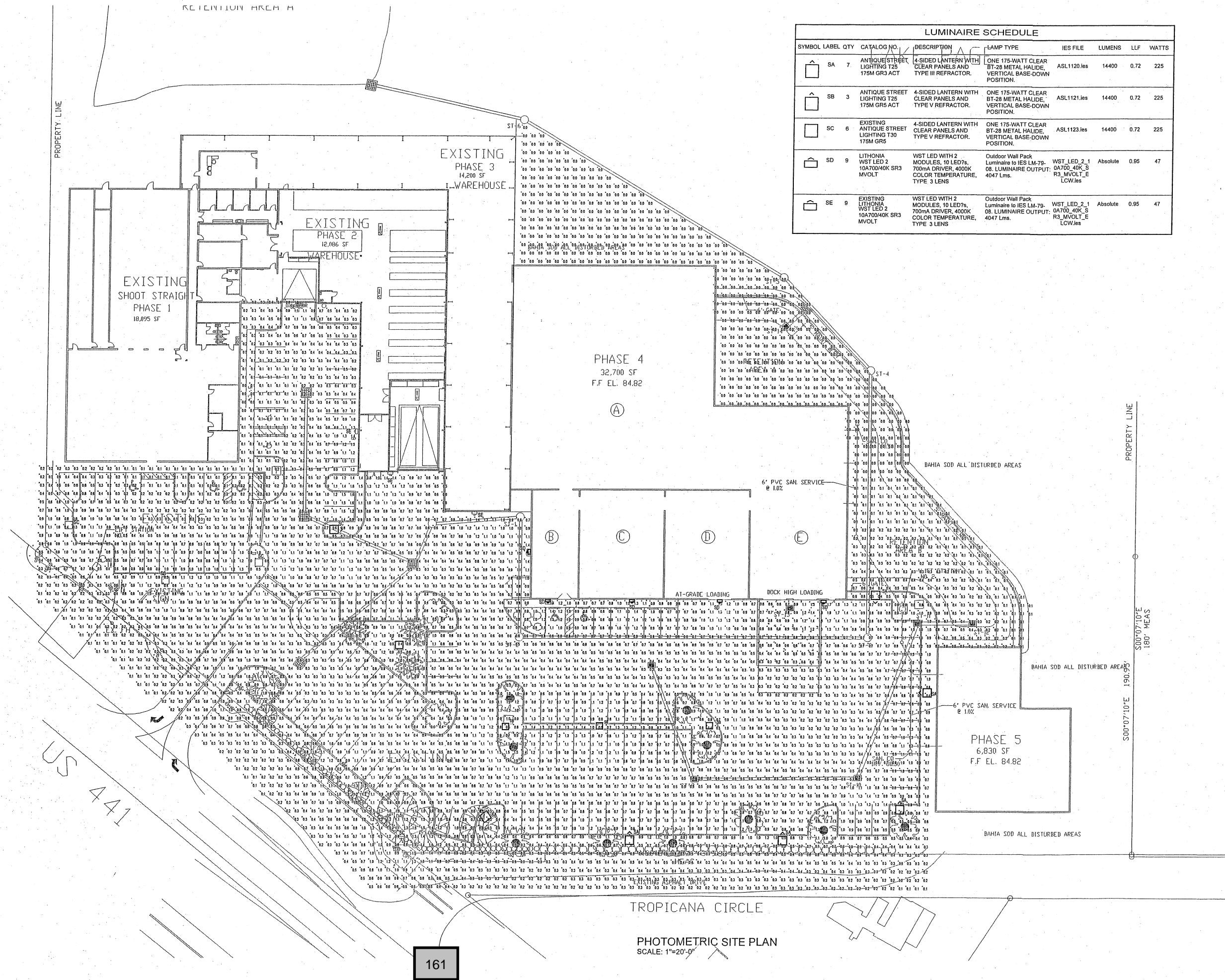
TEMPORARY JUMPER CONNECTION

PROJECT NO.:	DWG FILE:	DETAILS:	SCALE:	DATE:
CITY OF APOPKA	DESIGN ENGINEERING DIVISION	748 E. CLEVELAND AVENUE	APOPKA, FLORIDA 32703	TEL (407) 703-1731 FAX: (407) 703-1748
DATE:	REVISIONS:	DRAWN BY:	DES. BY:	CHECKED BY:
		JLT	JLT	JEL
				APPROVED BY:
				JEL
GENERAL UTILITY DETAILS 4				
PROJECT TITLE:				
SHEET				
G-4				



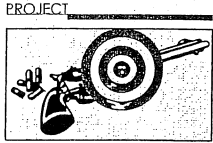


When dimensions on these drawings shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions, coordination and conditions on the job. Field verify all conditions prior to laying out or fabricating associated work. Bring to the engineers attention any deviation from designed conditions and field conditions prior to fabrication and installation work, and cooperate with engineer/architect to modify such conditions at no additional cost to the owner or the engineer. Shop details must be approved by the engineer prior to ordering materials, fabrication and delivery to the job site. OPES CONSULTING ENGINEERS LLC expressly reserves its common law copyright and other proprietary rights in these documents. These documents are not to be reproduced, changed, or copied in any way without the express written consent of OPES CONSULTING ENGINEERS LLC.

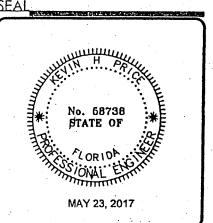


LUMINAIRE SCHEDULE									
SYMBOL	LABEL	QTY	CATALOG NO.	DESCRIPTION	LAMP TYPE	IES FILE	LUMENS	LLF	WATTS
SA	7	ANTIQUE STREET LIGHTING T25 175M GR3 ACT	4-SIDED LANTERN WITH CLEAR PANELS AND TYPE III REFRACTOR.	ONE 175-WATT CLEAR BT-28 METAL HALIDE, VERTICAL BASE-DOWN POSITION.	ASL1120.ies	14400	0.72	225	
SB	3	ANTIQUE STREET LIGHTING T25 175M GR5 ACT	4-SIDED LANTERN WITH CLEAR PANELS AND TYPE V REFRACTOR.	ONE 175-WATT CLEAR BT-28 METAL HALIDE, VERTICAL BASE-DOWN POSITION.	ASL1121.ies	14400	0.72	225	
SC	6	EXISTING ANTIQUE STREET LIGHTING T30 175M GR5	4-SIDED LANTERN WITH CLEAR PANELS AND TYPE V REFRACTOR.	ONE 175-WATT CLEAR BT-28 METAL HALIDE, VERTICAL BASE-DOWN POSITION.	ASL1123.ies	14400	0.72	225	
SD	9	LITHONIA WST LED 2 10A700/40K SR3 MVOLT	WST LED WITH 2 MODULES, 10 LED's, 7000A DRIVER, 4000K COLOR TEMPERATURE, TYPE 3 LENS	Outdoor Wall Pack Luminaire to IES LM-79-08. LUMINAIRE OUTPUT: 4047 Lms.	WST_LED_2_1 0A700_40K_S R3_MVOLT_E LCW.ies	Absolute	0.85	47	
SE	9	EXISTING WST LED 2 10A700/40K SR3 MVOLT	WST LED WITH 2 MODULES, 10 LED's, 7000A DRIVER, 4000K COLOR TEMPERATURE, TYPE 3 LENS	Outdoor Wall Pack Luminaire to IES LM-79-08. LUMINAIRE OUTPUT: 4047 Lms.	WST_LED_2_1 0A700_40K_S R3_MVOLT_E LCW.ies	Absolute	0.85	47	

**OPES**  
 OPES CONSULTING ENGINEERS LLC  
 C.A. # 26839  
 12033 Browns Canal Dr., Clermont, FL 34711  
 HVAC, ELECTRICAL & PLUMBING ENGINEERING SERVICES



PROJECT  
**Shoot Straight - Apopka Warehouse Building -- Phase 4**  
 with Birchmier Construction  
 1349 South Orange Blossom Trail  
 Apopka, Florida 32703

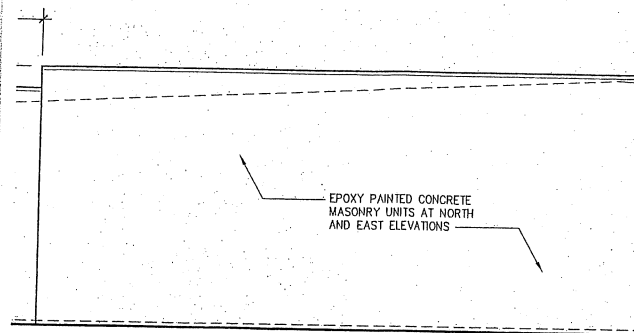


REVISIONS

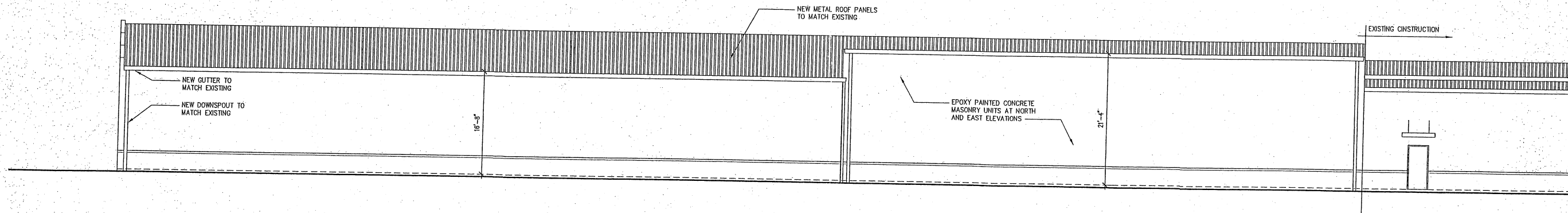
#	DATE	DESCRIPTION
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2	5/23/2017	FOR PRICING ONLY
3	6/2/2017	REV 1
4		
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DRAWING INFO  
 PROJECT #: 1428  
 DRAWN BY: RBH  
 CHECKED BY: KP/RBH  
 DATE: 5/8/2016

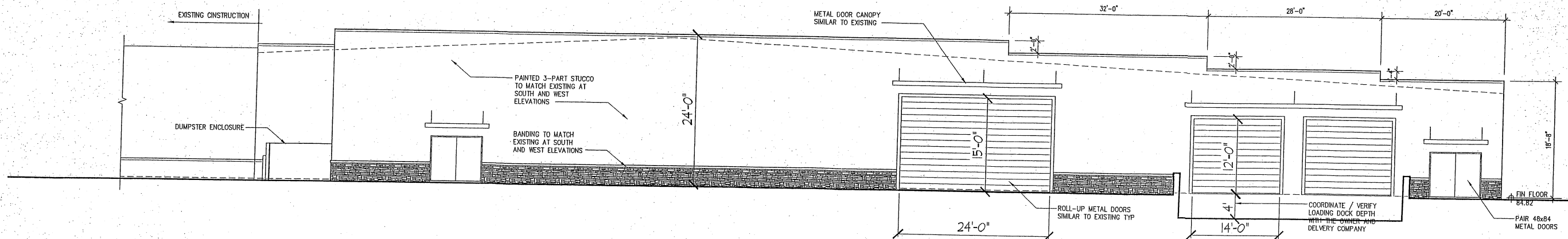
SHEET TITLE  
 SITE PLAN  
 PHOTOMETRICS  
 DRAWING NO.  
**E10**



3 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

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2017 PHASE 4  
WAREHOUSE ADDITION  
Apopka, Florida



BIRCHMER CONSTRUCTION  
549 N. Wyman Rd., Suite 206  
Maitland, Florida 32751  
(407) 786-9724 | CD42156

To the best of the Architect's knowledge, the plans and specifications comply with the applicable minimum building codes and the applicable fire-safety standards as administered by the local authority having jurisdiction, Florida Building Code, Chapter 630, Florida Statutes.



Valiente Architect LLC  
715 Grand Circle  
Temple Terrace, Florida  
813 958-1545  
AA28002283

JOB NO. 2017-20  
DATE May 19, 2017  
DRAWN BY  
REV. 1  
REV. 2  
REV. 3  
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REV. 8  
REV. 9  
REV. 10  
REV. 11  
REV. 12

PRELIMINARY  
NOT FOR CONSTRUCTION

Architect of Record  
Eduardo R. Valiente  
ARS2358